Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

06.077RZ







Bousfields Inc. #200 - 3 Church Street Toronto, ON M5E 1M2 Telephone: 416-947-9744 Contact: Michael Bissett

ChoiceProperties

Choice Properties Limited Partnership 22 St Clair Ave E., Suite 700 Toronto, ON, M4T 2S5 Telephone: 1 855-322-2122 Contact: Alexis Johansen

> TURNER FLEISCHER 67 Lesmill Rd

Toronto, ON, M3B 2T8 **Contact Name: Raza Mehdi** Phone Number: 416-425-2222 ext. 311 Email: first.last@turnerfleischer.com

ISSUED FOR ZBA JUNE 28 2021



BA Consulting Group Ltd. 45 St Clair Avenue West Toronto, ON M4V 1K9 Telephone: 416-961-7110 Contact: Alun S. Lloyd



DTAH 50 Park Road Toronto, ON M4W 2N5 Telephone:416-968-9479 Contact: James Roche



06.077 - 685 WARDEN AVE TORONTO, ON

PROJECT SUMMARY CITY OF TORONTO ZONING BY-LAW NO.569-2013

	m²	ft²
TOTAL GROSS SITE AREA	26,315.1	283,25
TOTAL PARKLAND CONVEYANCE	2,486.3	26,76
TOTAL ROW CONVEYANCE	7,767.7	83,61
NET SITE AREA	16,061.1	172,88
TOTAL GROSS FLOOR AREA	121,003.0	1,302,46
FSI OF TOTAL DEVELOPMENT (MEASURED HEIGHT)	4.60 >	SITE AREA
ESTABLISHED GRADE	146	5.75
NOTE: FSI BASED ON TOTAL GROSS SITE AREA		

PROJECT SUMMARY

			GROSS FL	OOR AREA BRE	AKDOWN			
BUILDING	RESIDEN	TIAL GFA	RETA	IL GFA	TOT	AL GFA	# OF UNITS	FSI
	m2	ft2	m2	ft2	m2	ft2		
BLDG A (13 STOREYS) BLDG B (13 STOREYS)	30,327.2	326,439			30,327.2	326,439	367	1.15
BLDG C (36 STOREYS) & BLDG E (22 STOREYS)	48,346.6	520,398	480.2	5,169	48,826.8	525,567	615	1.86
BLDG D (33 STOREYS) & BLDG F (19 STOREYS)	41,336.2	444,939	512.8	5,520	41,849.0	450,459	537	1.59
GRAND TOTAL	120,010.0	1,291,776	993.0	10,689	121,003.0	1,302,465	1,519	4.60

GROSS FLOOR AREA (GFA) BREAKDOWN - BUILDING A

							GROSS FL	OOR AREA	BREAKDOV	WN						TOTAL GROSS FLO	OR AREA [GFA] (TFA			TOTAL FLOO	R AREA (NO
FLO	0.00	# OF FLOORS	# OF UNITS			RETAIL		TOTA	L NON-	RESIDENTIAL				TOTAL PE	SIDENTIAL	- EXCL	USIONS)	AREA EXC	LUSIONS	EXCLUS	SIONS)
PLO	JOK .	* OF FLOORS	# OF OWITS	Ri	TAIL	RETAIL SER	VICE	RESID	DENTIAL	SALE	ABLE	NON-SAI	EABLE	TOTAL RE	SIDENTIAL						
			n	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²
								-				20.2	220	20.2		20.2	225	20.2	244	50.5	
U/0							-	-				30.3	326	30.3	326	30.3	326	29.2	314	59.5	6
U/0									+			30.3	326		326	30.3			314	59.5	64
1			7		-					625.8	6,736	2,209.8	23,786	2,835.6	30,522		30,522	227.4	2,448	3,063.0	32,97
2	2		7		-			_		590.6	6,357	77.1	830		7,187	667.7	7,187	55.4	596	1,119.1	12,04
3	3		19		-		_	-		1,293.5	13,923	79.7	858		14,781		14,781	55.4	596	1,428.6	15,37
4	1		16		_			-		1,118.1	12,035	76.4	822	1,194.5	12,857	1,194.5		55.7	600	1,250.2	13,45
5	5		24		-			-		1,558.5	16,776	277.6	2,988	1,836.1	19,764		19,764	56.1	604	1,892.2	20,30
6	s		23		_					1,598.5	17,206	243.3	2,619		19,825		19,825	55.4	596	1,897.2	20,42
7	7		23							1,598.5	17,206	243.3	2,619	1,841.8	19,825		19,825	55.4	596	1,897.2	20,42
8	3		16							946.8	10,191	65.6	705	1,012.4	10,897	1,012.4	10,897	47.7	513	1,060.1	11,4
9)		16							946.8	10,191	65.6	705			1,012.4	10,897	47.7	513	1,060.1	11,43
10	0		13							790.8	8,512	62.1	668	852.9	9,181	852.9	9,181	45.9	494	898.8	9,67
1	1		12							790.8	8,512	62.1	668	852.9	9,181	852.9		45.9	494	898.8	9,67
12	2		11							676.4	7,281	53.2	573	729.6	7,853			43.0	463	772.6	8,31
1	3		11							676.4	7,281	53.2	573	729.6	7,853	729.6	7,853	43.0	463	772.6	8,31
MP	РН																	271.3	2,920	271.3	2,92
																	AMENITY (INCL. IN IFA)				
	TOT	AL	198		and the second second		1			13,211.5	142,207	3,629.6	39,069	16,841.1	39,069	16,841.1	181,276	1,163.7	12,526	18,400.8	198,0

GROSS FLOOR AREA (GFA) BREAKDOWN - BUILDING B

							GROSS FL	OOR AREA	BREAKDOV	VN						TOTAL GROSS FLO	DOR AREA [GFA] (TFA	AREA EXC		TOTAL FLOO	DR AREA (NO
- 6	FLOOR	# OF FLOORS	# OF UNITS	1		RETAIL		TOT	AL NON-	RESIDENTIAL				TOTAL R	ESIDENTIAL	- EXC	LUSIONS)	AREA EAC	LOSIONS	EXCLU	ISIONS)
– H				RE	TAIL	RETAIL S		RESI	DENTIAL	SAL	EABLE	NON-SA	LEABLE	To the la							
– H			n	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft ²	m²	ft²	m²	ft ²
																					-
H	U/G 2											50.1	539	50.1				29.2	314	and the second se	
H	U/G 1								+			50.1	539		+	+	+	29.2	314		
H	1		12							780.1	8,397	115.9	1,248		-1		-4	769.0	8,277	-	
H	2		11							922.9	9,934	84.7	912	1,007.6	10,846	1,007.6		55.5	597		15,0
	3		16	1						1,331.9	14,336	77.9	839			1,409.8		55.5	597		15,7
	4		16							1,139.6	12,267	77.9	839	1,217.5	13,105	1,217.5	5 13,105	55.5	597	1,273.0	13,7
L	5		14							966.5	10,403	226.1	2,434	1,192.6	12,837	1,192.0	5 12,837	55.5	597	1,248.1	13,4
L	6		13							966.2	10,400	226.1	2,434	1,192.3	12,834	1,192.3	12,834	55.5	597	1,247.8	13,4
L	7		13							966.2	10,400	226.1	2,434	1,192.3	12,834	1,192.3	12,834	55.5	597	1,247.8	13,4
L	8		14							985.4	10,607	58.2	626	1,043.6	11,233	1,043.6	5 11,233	43.2	465	1,086.8	11,6
L	9		14							985.4	10,607	58.2	626	1,043.6	11,233	1,043.6	5 11,233	43.2	465	1,086.8	11,6
	10		12							817.9	8,804	58.2	626	876.1	9,430	876.1	9,430	43.2	465	919.3	9,8
	11		12							817.9	8,804	58.2	626	876.1	9,430	876.1	9,430	43.2	465	919.3	9,8
	12		11							667.0	7,180	52.2	562	719.2	7,741	719.2	7,741	43.2	465	5 762.4	8,2
	13		11							667.0	7,180	52.2	562	719.2	7,741	719.2	2 7,741	43.2	465	5 762.4	
	MPH																	248.8	2,678	3 248.8	2,67
																	R AMENITY (INCL. IN GFA)				
	TOT	TAL	169	1						12,014.0	129,318	1,472.1	15,846	13,486.1	15,846	13,486.1	145,163	1,668.4	17,959	15,492.5	166,

GROSS FLOOR AREA DEFINITION CITY OF TORONTO ZONING BY-LAW NO.569-2013

Gross Floor Area Calculations for a Mixed Use / Apartment Building in the Commercial Residential Zone Category : Gross floor areas means the sum of the total area of each floor level of a building, above and below the ground, measured from the exterior of the main wall of each floor level excluding: (Description of the main wall of each floor level excluding:

(A) parking, loading and bicycle parking below-ground;
 (B) required loading spaces at the ground level and required bicycle parking spaces at or above-ground;
 (C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement;
 (D) shower and change facilities required by this By-law for required bicycle parking spaces;
 (E) amenity space required by this By-law;

(F)elevator shafts;

(G)garbage shafts; (H)mechanical penthouse; and

HEIGHT DEFINITION CITY OF TORONTO ZONING BY-LAW NO.569-2013

Height for a Mixed Use / Apartment Building in the Commercial Residential Zone Category : the height of a building is the distance between the average elevation of the ground along the front lot line, or in the case of a corner lot the average elevation of the ground along all lot lines that abut a street, and the elevation of the highest point of the building

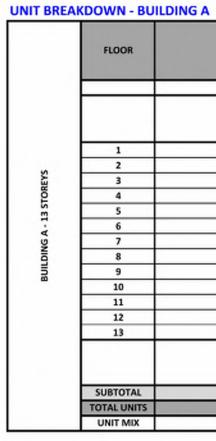
Height of Elements for Functional Operation of a Building Equipment and structures located on the roof of a building may exceed the permitted maximum height for that building by 5.0 metres: (A)equipment used for the functional operation of the building, such as electrical, utility, mechanical and ventilation

equipment; (B)structures or parts of the building used for the functional operation of the building, such as enclosed stairwells, roof access, maintenance equipment storage, elevator shafts, chimneys, vents, and water supply facilities; and

(C)structures that enclose, screen or cover the equipment, structures and parts of a building listed in (A) and (B) above.

AMENITY BREAKDOWN - BUILDING A

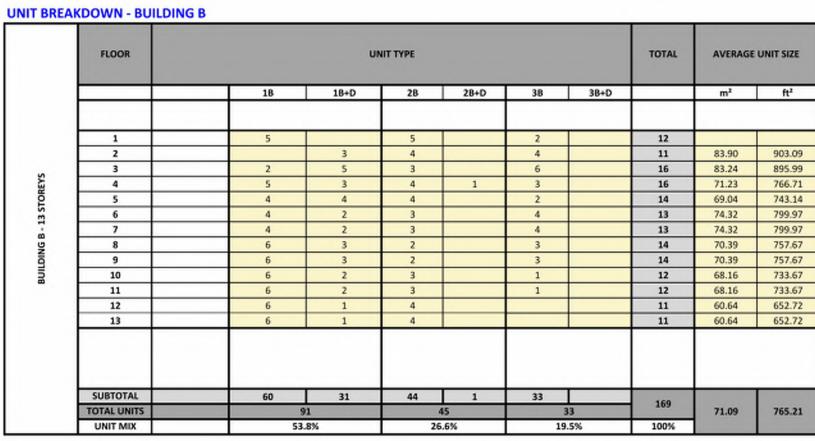
OUTDOOR A	MENITY	INDOOR AMENITY					
m²	ft ^z	m²	ft²				
371.0	3,993	396.0	4,263				
371.0	3,993	396.0	4,263				



AMENITY BREAKDOWN - BUILDING B

OUTDOOR A	MENITY	INDOOR AME	NITY
m²	ft²	m²	ft²
370.0	3,983	338.0	3,638
370.0	3,983	338.0	3,638





		UM	TOTAL	AVERAGE UNIT SIZE					
_	18	18+D	28	28+D	38	3B+D		m²	ft²
								_	
			2		5		7	89.40	962.29
		3	2		2		7	84.37	908.15
	6	3	8	1	1		19	68.08	732.81
	8	3	1		4		16	69.88	752.18
	13	7	1	1	2		24	64.94	699.01
	11	5	5		2		23	69.50	748.09
	11	5	5		2		23	69.50	748.09
	8	2	5		1		16	59.18	637.01
	8	2	5		1		16	59.18	637.01
	7	3	3				13	60.83	654.77
	7	2	3				12	65.90	709.34
	6	2	3				11	61.49	661.87
	6	2	3				11	61.49	661.87
	91	39	46	2	20		198	and the second second	1000
		30		4%		20		66.72	718.17
	6	6%	0%	100.0%					

FL	EISCHER
	Turner Fleischer Architects Inc. 67 Lesmill Road Toronto, ON, M3B 2T8
	T 416 425 2222 turnerfleischer.com
Architects Inc. The c on site and must not	instrument of service, is provided by and is the property of Turner Fleischer ontractor must verify and accept responsibility for all dimensions and conditions ify Turner Fleischer Architects Inc. of any variations from the supplied wing is not to be scaled. The architect is not responsible for the accuracy of
survey, structural, m appropriate consulta applicable codes and	echanical, electrical, etc., information shown on this drawing. Refer to the nt's drawings before proceeding with the work. Construction must conform to all d requirements of authorities having jurisdiction. The contractor working from
for any corrections o	cally marked 'For Construction' must assume full responsibility and bear costs r damages resulting from his work.
	DRAWING LIST
DRAWING NUMBER	DRAWING NAME
RZ000 RZ001	COVER PAGE STATISTICS AND DRAWING LIST
RZ002 RZ003	STATISTICS STATISTICS
RZ003 RZ004	SURVEY
RZ005 RZ006	CONTEXT PLAN BLOCK PLAN
RZ007	SITE PLAN / ROOF PLAN
RZ008	RESIDENTIAL SOLID WASTE MANAGEMENT PLAN
RZ009	(BUILDINGS A & B) RESIDENTIAL SOLID WASTE MANAGEMENT PLAN (BUILDINGS C & E)
RZ101	(BUILDINGS D & F) UNDERGROUND LEVEL 02
RZ102	UNDERGROUND LEVEL 02
RZ151 RZ152	FLOOR 01 FLOOR 02
RZ153	FLOORS 03-04
RZ154 RZ155	FLOOR 06-07 FLOOR 08
RZ156	TYPICAL FLOORS (BLDG A & B)
RZ157 RZ158	TYPICAL FLOORS (A&B) TYPICAL FLOORS (BLDG C & E)
RZ159 RZ160	TYPICAL FLOORS (BLDG D & F) TYPICAL FLOORS (BLDG D & F)
RZ160 RZ161	MPH PLAN
RZ301 RZ302	ELEVATIONS ELEVATIONS
RZ303	ELEVATIONS
RZ304 RZ305	ELEVATIONS ELEVATIONS
RZ401	BUILDING SECTIONS
RZ402 RZ403	BUILDING SECTIONS BUILDING SECTIONS
RZ404	BUILDING SECTIONS
RZ600 RZ701	DETAILS SHADOW STUDIES - MARCH
RZ702 RZ703	SHADOW STUDIES - MARCH SHADOW STUDIES - MARCH
RZ704	SHADOW STUDIES - JUNE
RZ705 RZ706	SHADOW STUDIES - JUNE SHADOW STUDIES - JUNE
RZ707	SHADOW STUDIES - SEPTEMBER
RZ708 RZ709	SHADOW STUDIES - SEPTEMBER SHADOW STUDIES - SEPTEMBER
RZ710 RZ711	SHADOW STUDIES - DECEMBER SHADOW STUDIES - DECEMBER
RZ801	3D PERSPECTIVES 3D PERSPECTIVES
1 2021-06-28 # DATE	ISSUED FOR ZBA CCU DESCRIPTION BY
PROJECT	
Prop	osed Mixed Use Development
	685 Warden Avenue, Toronto, ON
DRAWING	
STA	TISTICS AND DRAWING LIST
PROJECT NO. 06.077RZ	ASSO-
PROJECT DATE 2021-05-03	LAN OF MI
DRAWN BY	S ARCHITECTS 2
Author CHECKED BY	
Checker SCALE	LICENCE
	annonnunnunnun.

DRAWING NO.

TURNER

						GROSS FLO	OR AREA	BREAKDOW	IN						TOTAL GROSS FLO	OR AREA [GFA] (TFA		suddin I	TOTAL FLOO	ORA
FLOOR	# OF FLOORS	IF OF UNITS	RETAIL				TOTA	L NON-	RESIDENTIAL					CIDENTIAL	the second s	USIONS)	AREA EXCL	USIONS	EXCLU	
	# OF FLOORS		RETAIL		RETAIL SERVICE		RESID	ENTIAL	SALEABLE		NON-SALEABLE		TOTAL RE	SIDENTIAL						
		a	m²	ft²	m ²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m ²	ft²	m,	ft²	m²	
U/G 2											47.2	508	47.2	508			14,892.0	160,296	14,939.2	4
U/G 1											47.2	508	47.2	508	47.2	508	15,230.8	163,943	15,278.0	4_
1		6	460.5	5	19.7		480.2	5,169		5,076		32,731	3,512.4	37,807			212.1	2,283	4,338.9	4
2		11							941.1	10,130		2,617	1,184.2	12,747		12,747	43.2	465	2,323.2	4
3		27							2,108.4	22,695	151.8	1,634	2,260.2	24,329		24,329	43.2	465	2,303.4	4
4		27							2,108.4	22,695	151.8	1,634	2,260.2	24,329		24,329	43.2	465	2,303.4	4
5		27							1,989.8	21,418		1,635	2,141.7	23,053		23,053	43.2	465	2,184.9	4
6		26							1,844.8	19,857	151.8	1,634	1,996.6	21,491		21,491	43.2	465	2,039.8	4
7		26							1,844.8	19,857	151.8	1,634	1,996.6	21,491	1,996.6	21,491	43.2	465	2,039.8	4
8		27							1,789.7	19,264		1,634	1,941.5	20,898	1,941.5	20,898	43.2	465	1,984.7	4
9		12							737.4	7,937	49.8	536	787.2	8,473		8,473	43.2	465	830.4	_
10		12							737.4	7,937	49.8			8,473		8,473	43.2	465	830.4	-
11		12							737.4	7,937	49.8	536		8,473		8,473	43.2	465	830.4	_
12		12							737.4	7,937	49.8	536	787.2	8,473		8,473	43.2	465	830.4	-
13		11							708.0	7,621		530		8,150		8,150	43.0	463	800.2	_
14		11							673.1	7,245		527	722.1	7,773		7,773	43.2	465	765.3	-
15		11							673.1	7,245		527	722.1	7,773		7,773	43.2	465	765.3	_
16		11							673.1	7,245		527	722.1	7,773		7,773	43.2	465	765.3	-
17		11							673.1	7,245		527	722.1	7,773		7,773	43.2	465	765.3	_
18		10							673.7	7,252		520		7,772			43.2	465	765.2	
19		10							673.7	7,252		520		7,772			43.2	465	765.2	_
20		10							673.7	7,252		520	722.0	7,772			43.2	465	765.2	
21		10							673.7	7,252		520		7,772			43.2	465	765.2	-
22		10							673.7	7,252		520		7,772		the second se	43.2	465	765.2	_
23		10							673.7	7,252		520		7,772			43.2	465	765.2	-
24		10							673.7	7,252		520	722.0	7,772		7,772	43.2	465	765.2	_
25		10							673.7	7,252		520	722.0	7,772		7,772	43.2	465	765.2	_
26		10							673.7	7,252		520		7,772			43.2	465	765.2	_
27		10							673.7	7,252	and the second se	520		7,772		the second se	43.2	465	765.2	_
28		10							673.7	7,252				7,772			43.2	465	765.2	-
29		10							673.7	7,252		520		7,772			43.2	465	765.2	-
30		10							673.7	7,252	48.3	520	722.0	7,772			43.2	465	765.2	
31		10							673.7	7,252		520	722.0	7,772			43.2	465	765.2	-
32		10							673.7	7,252		520		7,772			43.2	465	765.2	
33		10							673.7	7,252				7,772			43.2	465	765.2	_
34		10							673.7	7,252		520	722.0	7,772			43.2	465	765.2	
35		10							673.7	7,252		520	722.0	7,772			43.2	465	765.2	
36 MPH		10							673.7	7,252	48.3	520	722.0	7,772	722.0	7,772	43.2 383.0	465	765.2 383.0	
MPH																	383.0	4,123	383.0	1
															the second s	AMENITY (INCL. IN FA)				
		470			19.7	212														

GROSS FLOOR AREA (GFA) BREAKDOWN - BUILDING C

GROSS FLOOR AREA (GFA) BREAKDOWN - BUILDING E

						GROSS FL	OOR AREA	BREAKDOV	/N						TOTAL GROSS FLOOR	AREA [GFA] (TFA			TOTAL FLOO	R AREA
FLOOR	# OF FLOORS	# OF UNITS			RETAIL		TOT	AL NON-	RESIDENTIAL				TOTAL RE	EIDENTIAL	- EXCLUS		AREA EXCL	USIONS	EXCLUS	
FLOOR	# OF FLOORS	# OF ONITS	R	ETAIL	RETAIL SE	RVICE	RESI	DENTIAL	SALE	ABLE	NON-SA	EABLE	TOTAL NE	SIDERTIAL						
		#	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m ²	ft
11/0.3	-			-		_	-	-			25.4	201	27.4			201		100	62.5	
U/G 2 U/G 1				-		-					35.4	381 381	35.4	38		381 381	16.7	180 180		
								+	+		129.5	1,394		1,39		1,394	140.7	1,514		
2	-										12.5.5	1,554	11.5.5	4,55	125.5	2,004	49.5	533		
3																	43.2	465		
4																	43.2	465		_
5								REFE	R TO BUILDING C FO	R AREAS ON PODIL	JM FLOORS						43.2	465		
6																	43.2	465	43.2	
7																	43.2	465	43.2	
8																	43.2	465	43.2	
9		11							726.8	7,823	50.0	538	776.8	8,36	1 776.8	8,361	43.2	465	820.0	
10		11							726.8	7,823	50.0	538	776.8	8,36	1 776.8	8,361	43.2	465	820.0	
11		11	1						726.8	7,823	50.0	538	776.8	8,36	1 776.8	8,361	43.2	465	820.0	
12		11							726.8	7,823	50.0	538	776.8	8,36	1 776.8	8,361	43.2	465	820.0	
13		11							726.8	7,823	50.0	538	776.8	8,36	1 776.8	8,361	43.2	465	820.0	
14		10							660.2	7,106	46.7	503	706.9	7,60	9 706.9	7,609	43.2	465	750.1	
15		10							660.2	7,106	46.7	503	706.9	7,60	9 706.9	7,609	43.2	465	750.1	
16		10							660.2	7,106	46.7	503	706.9	7,60		7,609	43.2	465	750.1	
17		10							660.2	7,106	46.7	503	706.9	7,60		7,609	43.2	465	750.1	
18		10							660.2	7,106	46.7	503	706.9	7,60		7,609	43.2	465	750.1	
19		10							660.2	7,106	46.7	503	706.9	7,60		7,609	43.2	465	750.1	
20		10							660.2	7,106	46.7	503	706.9	7,60		7,609	43.2	465		
21		10		_		_		-	660.2	7,106	46.7	503	706.9	7,60		7,609	43.2	465	750.1	
22		10		-				-	660.2	7,106	46.7	503	706.9	7,60	9 706.9	7,609	43.2	465	750.1	_
MPH	_																382.6	4,118	382.6	
															EXCESS INDOOR AN GFA	Committee of the second s				
T	OTAL	145							9,575.8	103,073	870.6	9,371	10,446.4	9,37	1 10,446.4	112,444	1,470.2	15,825	11,916.6	

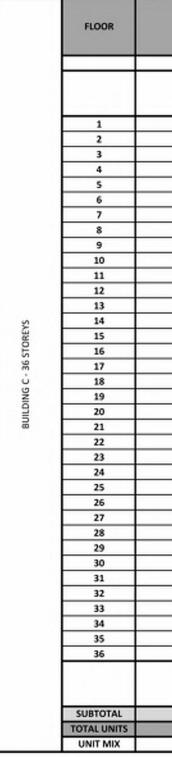
AMENITY BREAKDOWN - BUILDING C

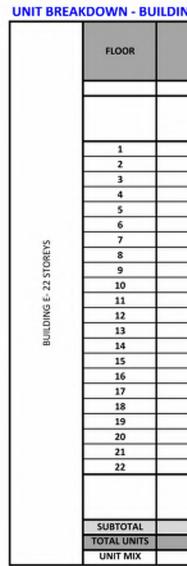
OUTDOOR A	MENITY	INDOOR AM			
m²	ft ²	m ²	ft²		
	1	134.2	1		
2,309.0	24,854	1,095.8	11		
		()			
2,309.0	24,854	1,230.0	13		

AMENITY BREAKDOWN - BUILDING E

OUTDOO	RAMENITY	INDOOR AM	MENITY
m²	ft²	m²	ft²
	ULDING C FOR R AMENITY	REFER TO BULL	
_			

UNIT BREAKDOWN - BUILDING





Т	UR	NER
FLE	ISCH	HER

Turner Fleischer Architects Inc.

67 Lesmill Road Toronto, ON, M3B 2T8 T 416 425 2222 turnerfleischer.com

BY

RUSSELL L,FLEISCHER

DRAWING NO.

SCALE

REV.

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

NG C									
		U	NIT TYPE		TOTAL	AVERAGE	UNIT SIZE		
	18	18+D	28 2B+D	3B 3B+D		m²	ft²		
		3	2	1	6	78.60	846.04		
	2 3	2 9	2 11	5 4	11 27	85.55 78.09	920.85 840.55		
	3	9 10	11 6	6	27 27	78.09 73.70	840.55 793.30		
	9	7	5	5	26	70.95	763.70		
	9 10	7	5 8	5	26 27	70.95 66.29	763.70 713.54		
	6	2	4		12	61.45	661.44		
-	6	2	4		12	61.45 61.45	661.44 661.44		
	6	2	4		12	61.45	661.44		
	6	1 2	3		11 11	64.36 61.19	692.77 658.64		
	6	2	3 3		11 11	61.19 61.19	658.64 658.64		
	6	2	3		11	61.19	658.64		
	3	3	4		10	67.37 67.37	725.16		
	3	3	4		10	67.37	725.16		
	3	3	4		10	67.37 67.37	725.16 725.16		
	3	3	4		10 10	67.37 67.37	725.16		
	3	3	4		10	67.37	725.16		
	3	3	4 4		10	67.37 67.37	725.16 725.16		
	3	3	4		10	67.37	725.16		
	3	3	4 4		10 10	67.37 67.37	725.16 725.16		
	3	3	4		10 10	67.37 67.37	725.16 725.16		
	3	3	4		10	67.37	725.16		
	3	3	4		10	67.37 67.37	725.16		
	3	3	4		10	67.37	725.16		
	152	128	158	32					
		80 .6%	158 33.6%	32 6.8%	470	68.61	738.51		
		UNIT TYPE			TOTAL	AVERAGE	UNIT SIZE		
	18	18+D	2B 2B+D	3B 3B+D		m²	ft²		
			REFER TO BUILDING	C FOR UNITS ON PODIUM FLOO	and and				
	6	1	4		11	66.07	711.17		
	6	1	4		11 11	66.07 66.07	711.17 711.17	# DATE	DESCRIPTION
	6	1	4		11	66.07	711.17		
	5	2	4		11 10	66.07 66.02	711.17 710.63		
	5	1	4 4		10 10	66.02 66.02	710.63 710.63		
	5	1	4		10	66.02	710.63		
	6	1	3		10 10	66.02 66.02	710.63 710.63		
	6	1	3		10 10	66.02 66.02	710.63		
	6	1	3		10	66.02 66.02	710.63	PROJECT	
									d Mixed Use Development
	79	15	51		145	and the second second			
		M .8%	51 35.2%			66.04	710.85	685	Warden Avenue,Toronto, ON
	9				145 100.0%	66.04	710.85	685 '	Warden Avenue,Toronto, ON
								DRAWING	
									STATISTICS
									STATISTICS
								PROJECT NO.	
								06.077RZ	ASSOC
								PROJECT DATE 2021-05-03	ARCHITECTS Z
								DRAWN BY	S ARCHITECTS 2
								Author CHECKED BY	Mun
								Checker	HUSSELL L,FLEISCHER

GROSS FLOOR AREA (GFA) BREAKDOWN - BUILDING D

						GROSS FLO	OOR AREA	BREAKDOW	/N						TOTAL GROSS FLOOR AREA [GFA] (TF				TOTAL FLOO	OR AREA
FLOOR	# OF FLOORS	# OF UNITS	RETAIL				TOTA	L NON-	RESIDENTIAL				TOTAL RES	IDENTIAL	- EXCLUSIONS)		AREA EXC	LUSIONS		ISIONS)
	# OF FLOORS		RETAIL		RETAIL SERVICE		RESID	ENTIAL	SALEABLE		NON-SALEABLE		TOTAL RES	SIDENTIAL						
		#	m²	ft ²	m²	ft²	m²	ft ²	m²	ft ²	m ³	ft²	m ²	ft²	m ²	ft ²	m²	ft ³	m²	ft²
11/5 3							-				50.3						22.6	202		<u> </u>
U/G 2 U/G 1		-		-			-				50.3 50.3		50.3 50.3	541	50.3		33.6 33.6	362	83.9 83.9	
				+																
1		3					-		258.3	2,780	578.5		836.8	9,007	836.8	9,007	715.9	7,706		
2		15					-		2,116.8	11,753 22,785	268.0		1,359.9	14,638			45.2	48/	2,282.4	
3 4		25					-		2,116.8	22,785	161.1	1,734	2,277.9	24,519		24,519 24,519	45.4	489		_
5		25					-		2,000.5	21,533	161.1		2,161.6	23,267		23,267	45.4	489		
6		25		-					1,849.9	19,912	154.0		2,003.9	23,267		23,267	45.4	489		\vdash
7		24					-		1,849.9	19,912	154.0		2,003.9	21,570		21,570	45.4	489	2,049.3	<u> </u>
8		24					-		1,782.1	19,912	154.0	the second se	1,936.1	20,840		20,840	45.4	489	1,981.5	
9		11		-					741.9	7,986	49.3		791.2	20,840		8,516	45.4	489	836.6	
10		11		-			-		741.9	7,986	49.3		791.2	8,516		8,516	45.4	403	836.6	
10		11					-		741.9	7,986	49.3		791.2	8,516	the second se		45.4	489	836.6	
11		11							741.9		49.3		791.2				45.4	489	836.6	
12		11					-		690.2	7,986	49.3		739.5	8,516		8,516	45.4	463	784.9	_
13		10					-		690.2	7,429	49.3	and the second se	739.5	7,960		7,960	45.4	489	784.9	
		10					-				49.3						45.4	463		
15		10					-		690.2	7,429	49.3		739.5	7,960		7,960	45,4	489	784.9	
16		10					-		690.2	7,429			739.5		the second se	7,960	the second se	489		
17		10					-		690.2	7,429	49.3		739.5	7,960		7,960	45.4	469	784.9	
18		10					-		660.0	7,104			706.7	7,607	706.7	7,607	45.4	489	752.1	_
19		10					-		660.0	7,104	44.3		704.3	7,581		7,581	the second se		749.7	
20		10					-		660.0	7,104	44.3		704.3	7,581	704.3	7,581	45.4	489	749.7	_
21		10					-		660.0	7,104	44.3		704.3	7,581	704.3	7,581	45.4	489	749.7	_
22		10					-		660.0	7,104	44.3		704.3	7,581		7,581	45.4	489	749.7	
23		10					-		660.0	7,104	44.3		704.3	7,581		7,581	45.4	489	749.7	_
24		10		-			-		660.0	7,104	44.3		704.3	7,581		7,581	45.4	489	749.7	_
25		10					-		660.0	7,104	44.3		704.3	7,581	704.3	7,581	45.4	489	749.7	
26		10					-		660.0	7,104	44.3		704.3	7,581		7,581	45.4	489	749.7	_
27		10					-		660.0	7,104	44.3		704.3	7,581	704.3	7,581	45.4	489	749.7	<u> </u>
28		10					-		660.0	7,104	44.3	477	704.3	7,581	704.3	7,581	45.4		749.7	\vdash
29		10					-		660.0	7,104	44.3		704.3	7,581		7,581	45.4	489	749.7	_
30		10					-		660.0	7,104	44.3		704.3	7,581	704.3	7,581	45.4	489	749.7	_
31		10		-			-		660.0	7,104	44.3		704.3	7,581	704.3	7,581	45.4		749.7	
32		10					-		660.0	7,104	44.3		704.3	7,581	704.3	7,581	45.4	489	749.7	
33		10					-		660.0	7,104	44.3	4//	704.3	7,581	704.3	7,581	45.4		749.7	
MPH																	321.4	3,460	321.4	<u> </u>
															The second se	AMENITY (INCL. IN IFA)				
TOT	FAL	419							30,044.8	323,400	3,047.3	32,801	33,092.1	32,801	33,092.1	356,200	2,557.1	27,524	36,723.2	

GROSS FLOOR AREA (GFA) BREAKDOWN - BUILDING F

		-				GROSS FLO	OR AREA	BREAKDOW	IN.				-		TOTAL GROSS FL	
FLOOR	# OF FLOORS	# OF UNITS		RF	ETAIL		the second se		RESIDENTIAL			1000 C	TOTAL RES	SIDENTIAL	- E0	
rtoon	E OF FLOORS	P OF OHITS	RET		RETAIL SERV	/ICE	RESID	DENTIAL	SAL	EABLE	NON-SA		TOTAL ML			
		N	m ¹	ft ²	m²	ft²	m²	ft ²	m ¹	ft²	m²	ft2	m ²	ft²	m²	
U/G 2											42.3	455		455		
U/G 1				L				L			42.3	455	42.3	455	4	
1			501.3	5,396	11.54	4	512.8	5,520			75.1	808	75.1	808	58	
2																
3																
4																
5								REFE	R TO BUILDING D F	OR AREAS ON PODIL	JM FLOORS					
6																
7																
8																
9		12							735.7	7,919	46.9	505	782.6	8,424	78	
10		12							735.7	7,919	46.9	505	782.6	8,424	78	
11		12							735.7	7,919	46.9	505	782.6	8,424	78	
12		11							705.8	7,597	46.3	498	752.1	8,096	75	
13		11							705.8	7,597	46.3	498	752.1	8,095	75	
14		10							663.5	7,142	41.9	451	705.4	7,593	70	
15		10							663.5	7,142	41.9	451	705.4	7,593	70	
16		10					1		663.5	7,142	41.9	451	705.4	7,593	70	
17		10							663.5	7,142	41.9	451	705.4	7,593	70	
18		10							663.5	7,142	41.9	451	705.4	7,593	70	
19		10							663.5	7,142	41.9	451	705.4	7,593	70	
MPH																
															EXCESS INDO	
									-							
	OTAL	118	501.3	5,396	11.5	5 124	512.8	5,520	7,599.7	81,802	644.4	6,936	8,244.1	6,936	8,75	

VEHICULAR PARKING - REQUIRED - BUILDINGS A-F

	USE	RATIO (MIN.)	UNITS / GFA (m ²)	SPACES (MIN.)
	VISITOR	N/A	1,519	
BUILDINGS A-F	18 & 18+D UNITS	1.00 / UNIT	928	928
	28 & 28+D UNITS	1.00 / UNIT	452	452
	38 UNITS	1.00 / UNIT	139	139
		1519		
80	RETAIL	3.0 SPACES / 100 M2	993	29
			1548	

VEHICULAR PARKING - PROVIDED - BUILDINGS A-F

*REFER TO TGS CONSIDERATIONS PREPARED BY BA GROUP

FLOOR		USE					
FLOOR	RESIDENTIAL	VISITOR	RETAIL				
U/G LEVEL 1	456			456			
U/G LEVEL 2	423			423			
				_			
FLOOR 01	117			11			
TOTAL PROVIDED	996		1	99			

EV PROVIDED

UNIT MIX - PROVIDED

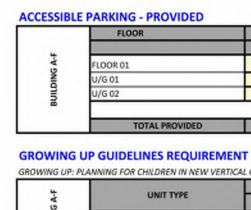
			UN	IT TYPE			
BUILDING	18	18+D	28	28+D	38	3B+D	TOTAL
	500 -648	648-699	700-999		1000-1500		
A	91	39	46	2	20		198
	46.0%	19.7%	23.2%	1.0%	10.1%		1005
В	60	31	44	1	33		169
	35.5%	18.3%	26.0%	0.6%	19.5%		1009
с	152	128	158		32		470
	32.3%	27.2%	33.6%		6.8%		1009
E	79	15	51				145
	54.48%	10.34%	35.17%				1009
D	118	139	108		54		419
	28.2%	33.2%	25.8%		12.9%		1009
F	60	16	42				118
	50.8%	13.6%	35.6%				1009
_					L 100 L		
TOTAL	560 36.9%	368	449 29.6%	3	9.2%		1,519
TOTAL	61.		29.075			.2%	100%

AMENITY	AREAS -	REC

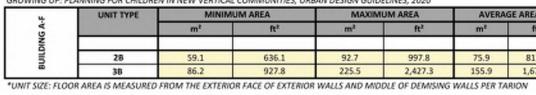
	TYPE	REQUIR	ED		PROVIDED			
		RATIO	m2	ft2	RATIO	m2	ft2	
NG AB	INDOOR AMENITY	2.0 m2/ UNIT	734.0	7,901	2.0 m2 / UNIT	734.0	7,901	
BUILDING A&B	OUTDOOR AMENITY	TOTAL AMENITY REQUIRE AMENITY PROVIDED (N		2.0 m2 / UNIT	741.0	7,976		
	TOTAL AMENITY	4.0 m2/ UNIT	1,468.0	15,802 4.0 m2 / UNIT	1,475.0	15,877		
	TYPE	REQUIR	ED		PRC	WIDED		
		RATIO	m2	ft2	RATIO	m2	ft2	
10 00	INDOOR AMENITY	2.0 m2/ UNIT	2,304.0	24,800	2.0 m2 / UNIT	2,304.0	24,800	
BUILDING C-F	OUTDOOR AMENITY	TOTAL AMENITY REQUIRE AMENITY PROVIDED (N			2.0 m2 / UNIT	2,309.0	24,854	
	TOTAL AMENITY	4.0 m2/ UNIT	4,608.0	49,601	4.0 m2 / UNIT	4,613.0	49,654	
	GRAND TOTAL				4.0 m2 / UNIT	6,088.0	65,531	

94,258 1,476.2 15,890 10,233.1 110,148

A-F	
NIO	
allu	



UNIT SIZE: FLOOR AREA IS MEAS GROWING UP GUIDELINES REQUIREMENT



OUTDOOR AMENITY		INDOOR AMENITY				
m²	ft²	m²	ft²			
		196.7 877.3	2,11 9,44			
REFER TO BULL OUTDOOR A						

6 D	
18	18+D
	2
3	4
1	12
1	12
3	11
6	9
6	9
11	8
2	5
2	5
2	5
2	5
3	4
3	4
3	4
3	4
3	4
4	2
4	2
4	2
4	2
4	2
	3 1 1 3 6 6 11 2 2 2 2 2 2 3 3 3 3 3 3 3 4 4 4 4 4

4

4

4

4 4

4

4

4

118 139 257 61.3%

2

2

24 25

26

27

SUBTOTAL TOTAL UNITS

UNIT MIX

UNIT BREAKDOWN - BUILDING F

INDOOR AMENITY	OUTDOOR AMENITY		and an end of the second se	TOTAL FLOOR / EXCLUSIO	SIONS	AREA EXCLU	the second se	TOTAL GROSS FLOOR A - EXCLUSIO
m² fi	ft²	m²	ft ²	m²	ft²	m²	ft ²	m ²
			770	71.5	314	29.2	455	42.3
			770	71.5	314	29.2	455	42.3
			8,654	804.0	2,326	216.1	6,328	587.9
			637	59.2	637	59.2		
			488	45.3	488	45.3		
			488	45.3	488	45.3		
			488	45.3	488	45.3		
			488	45.3	488	45.3		
			488	45.3	488	45.3		
			488	45.3	488	45.3		
			8,911	827.9	488	45.3	8,424	782.6
REFER TO BULDING D	ULDING C FOR	REFER TO B	8,911	827.9	488	45.3	8,424	782.6
INDOOR AMENIT	R AMENITY	OUTDOO	8,911	827.9	488	45.3	8,424	782.6
			8,583	797.4	488	45.3	8,096	752.1
			8,583	797.4	488	45.3	8,095	752.1
			8,080	750.7	488	45.3	7,593	705.4
			8,080	750.7	488	45.3	7,593	705.4
			8,080	750.7	488	45.3	7,593	705.4
			8,080	750.7	488	45.3	7,593	705.4
			8,080	750.7	488	45.3	7,593	705.4
			8,080	750.7	488	45.3	7,593	705.4
			4,008	372.4	4,008	372.4		
							NITY (INCL. IN	EXCESS INDOOR AME GFA)

OUTDOOR	AMENITY	INDOOR A	MENITY
m²	ft ³	m ²	ft ³
	ILDING C FOR 8 AMENITY	REFER TO BUI INDOOR /	

QUIRED & PROVIDED

S + 1 PER 50	23
	80
TOTAL ACCESSIBLE PARKING SPACES REQUIRED	23

SPACES	TOTAL
1	1
13	13
9	9

	MINIMU		
UNIT TYPE	m ²	ft²	UNIT TYPE PERCENTAGE
28	87	936	15%
3B	100	1,076	10%

	UNIT TYPE	MINIMUM AREA		MAXIMUM AREA		AVERAGE AREA		UNIT TYPE	TOTAL UNITE	TOTAL UNITS @ MIN. GUIDOUME
e A.		m²	ft²	m²	ft ¹	m²	ft²	PERCENTAGE	TOTAL UNITS	ROQUIREMENTS
NO										
iii ii	28	59.1	636.1	92.7	997.8	75.9	817.0	29.8%	452	117
-	38	86.2	927.8	225.5	2,427.3	155.9	1,678.1	9.2%	139	79

	FLOOR	UNIT TYPE							AVERAGE	UNIT SIZE
		18	18+D	28	28+D	38	38+D		m²	ft²
	1									
	2									
	3									
	4	REFER TO BUILDING D FOR UNITS ON PODIUM FLOORS								
	5									
EXS	6									
OK	7									
BUILDING F- 19 STOREYS	8		-	-						
1	9	6	4	2				12	61.31	659.9
19	10	6	4	2				12	61.31	659.5
9	11	6	4	2				12	61.31	659.5
2	12	6	2	3				11	64.16	690.6
	13	6	2	3				11	64.16	690.6
	14	5	-	5				10	66.35	714.1
	15	5		5				10	66.35	714.1
	16	5		5				10	66.35	714.1
	17	5		5				10	66.35	714.1
	18	5		5				10	66.35	714.1
	19	5		5				10	66.35	714.1
	SUBTOTAL	60	16	42				118	1.000	1.000
	TOTAL UNITS		76		42	10			64.40	693.2
	UNIT MIX	64.4%		35.6%		100.0%				

BICYCLE PARKING - PROVIDED

			-		
3	FLOOR	SHORT TERM	LONG TERM	SUB-TOTAL	TOTAL
	FLOOR 1	152	976	1,128	1,128
BUILDI	U/G LEVEL 1		217	217	217
-	U/G LEVEL 2		176	176	176
	TOTAL PROVIDED	152	1,369	1,521	1,521

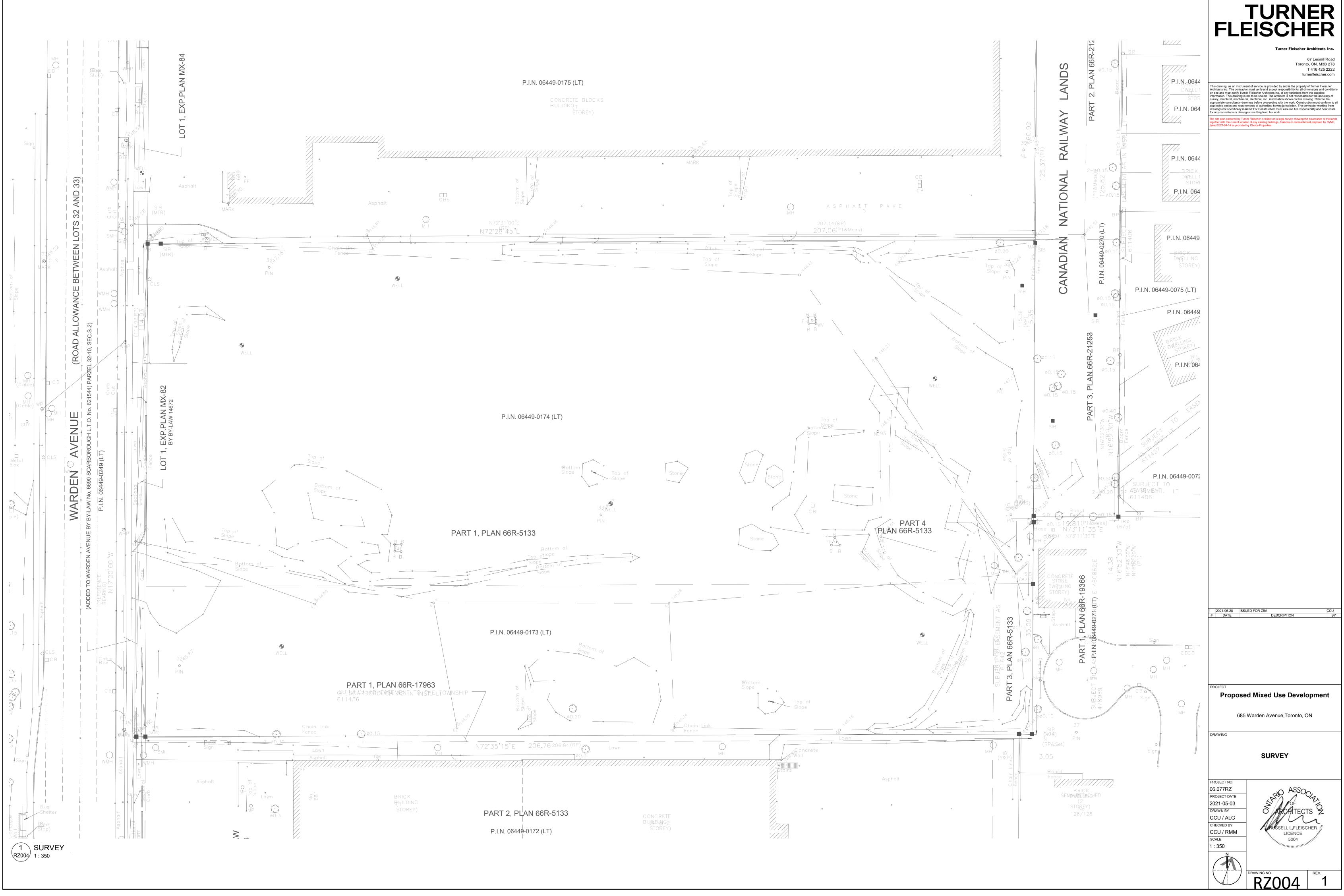
IT TYPE				TOTAL	AVERAGE	UNIT SIZE
28	28+D	38	38+D		m²	ft²
	2010	50	30.0			
		1		3	86.10	926.77
		6		13	83.99	904.06
4		8		25	84.67	911.38
4		8		25	84.67	911.38
4		7		25	80.02	861.33
3		6		24	77.08	829.68
3		6		24	77.08	829.68
4		3		26	68.54	737.76
3		1		11	67.45	726.03
3		1		11	67.45	726.03
3		1		11	67.45	726.03
3		1		11	67.45	726.03
2		1		10	69.02	742.93
2		1		10	69.02	742.93
2		1		10	69.02	742.93
2		1		10	69.02	742.93
2		1		10	69.02	742.93
4				10	66.00	710.42
4				10	66.00	710.42
4				10	66.00	710.42
4				10	66.00	710.42
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	08	54	1	419	71.71	771.88
	.8%	12.9		100.0%		
23		Les		100/0/0		



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RZ003







TTC WARDEN STATION

EXISTING WARDEN TRANSFORMER STATION

PROPOSED ROAL

BELL ESTATE ROAD

TOWER

LOW-RISE

RESIDENTIAL

Lastrache in L to

BUILDING A

BUILDING B

Ш ÓWÉR E ∢ **OWER C** NARDEN SUBJECT SITE OWER F HIGH-RISE RESIDENTIAL EXISTING COMMERCIAL EXISTING RETIREMENT HOME

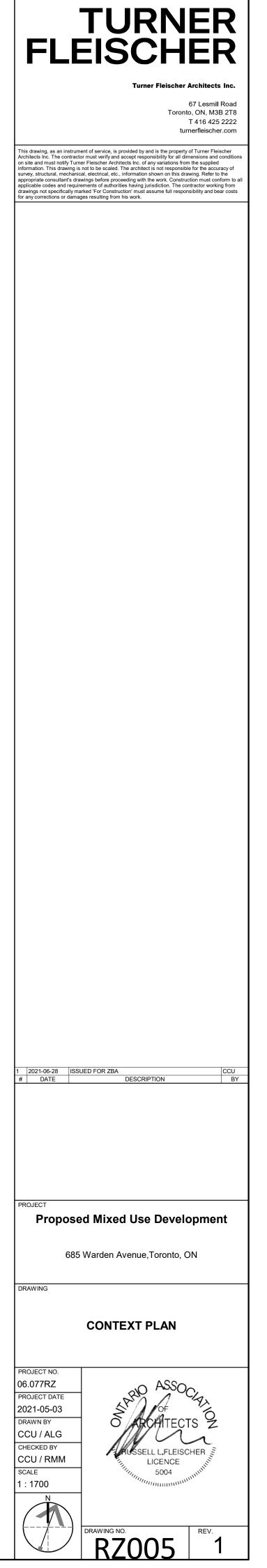
NUE

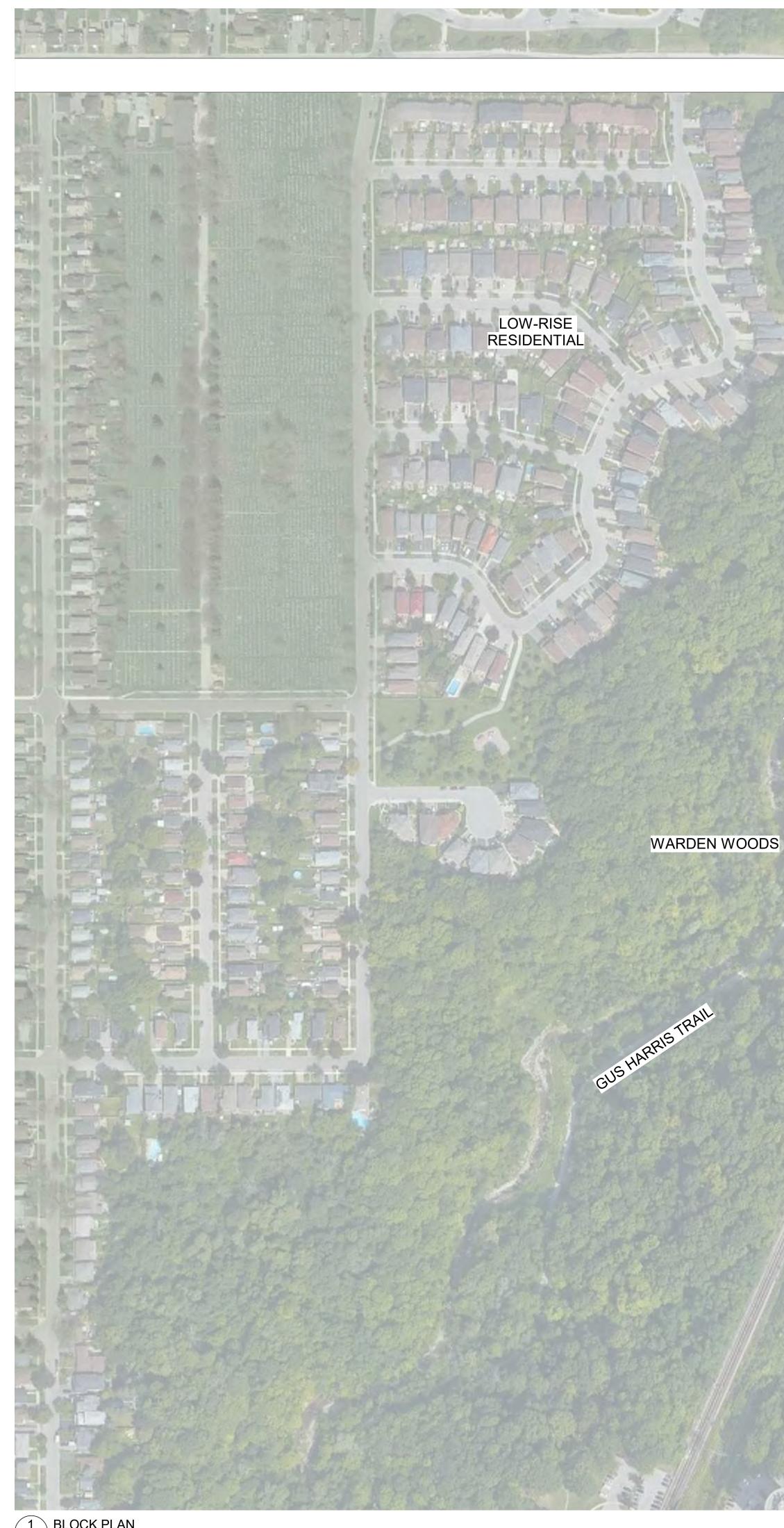
FIRVALLEY WOODS

TARTAN AVENUE

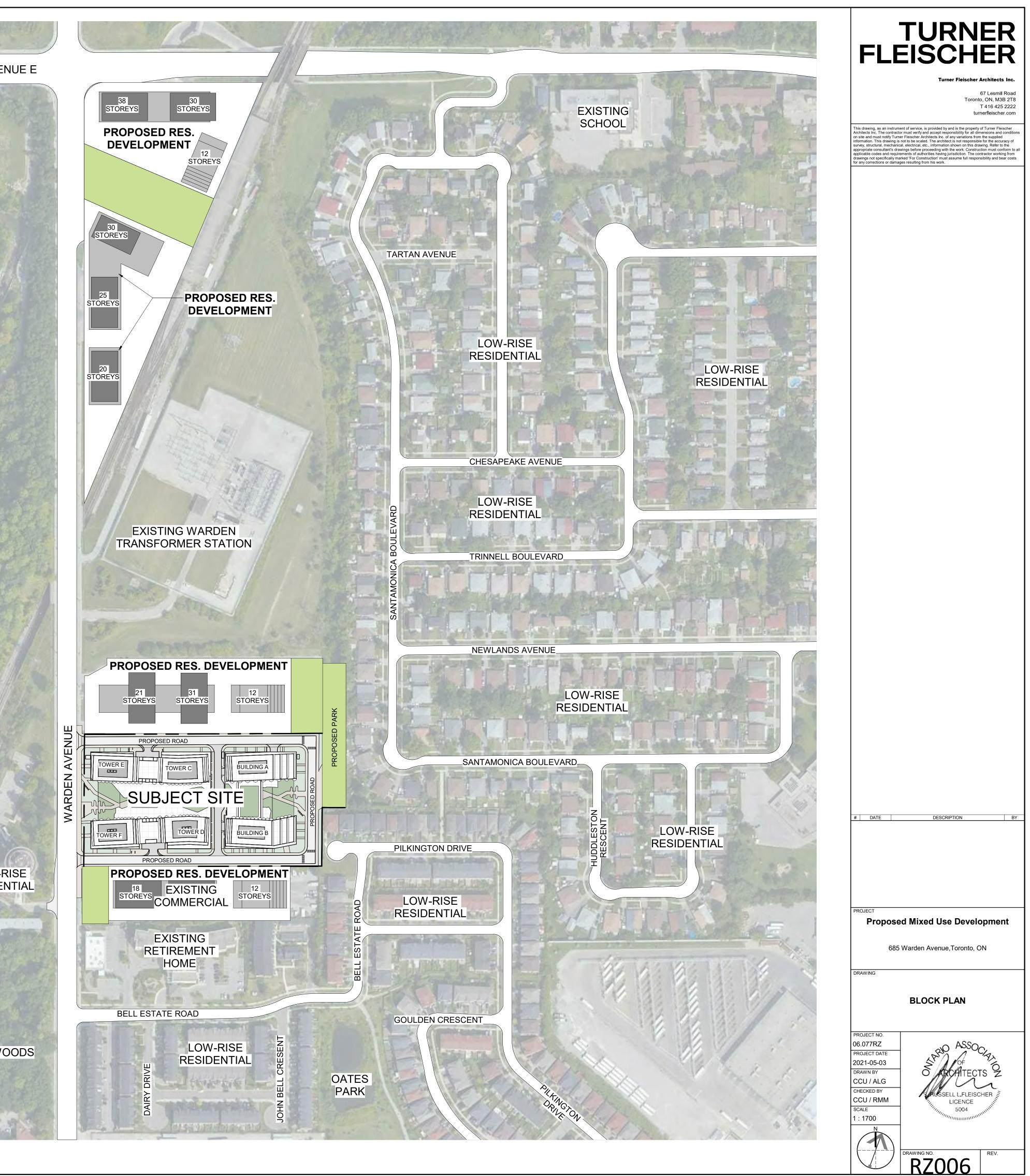
OATES PARK







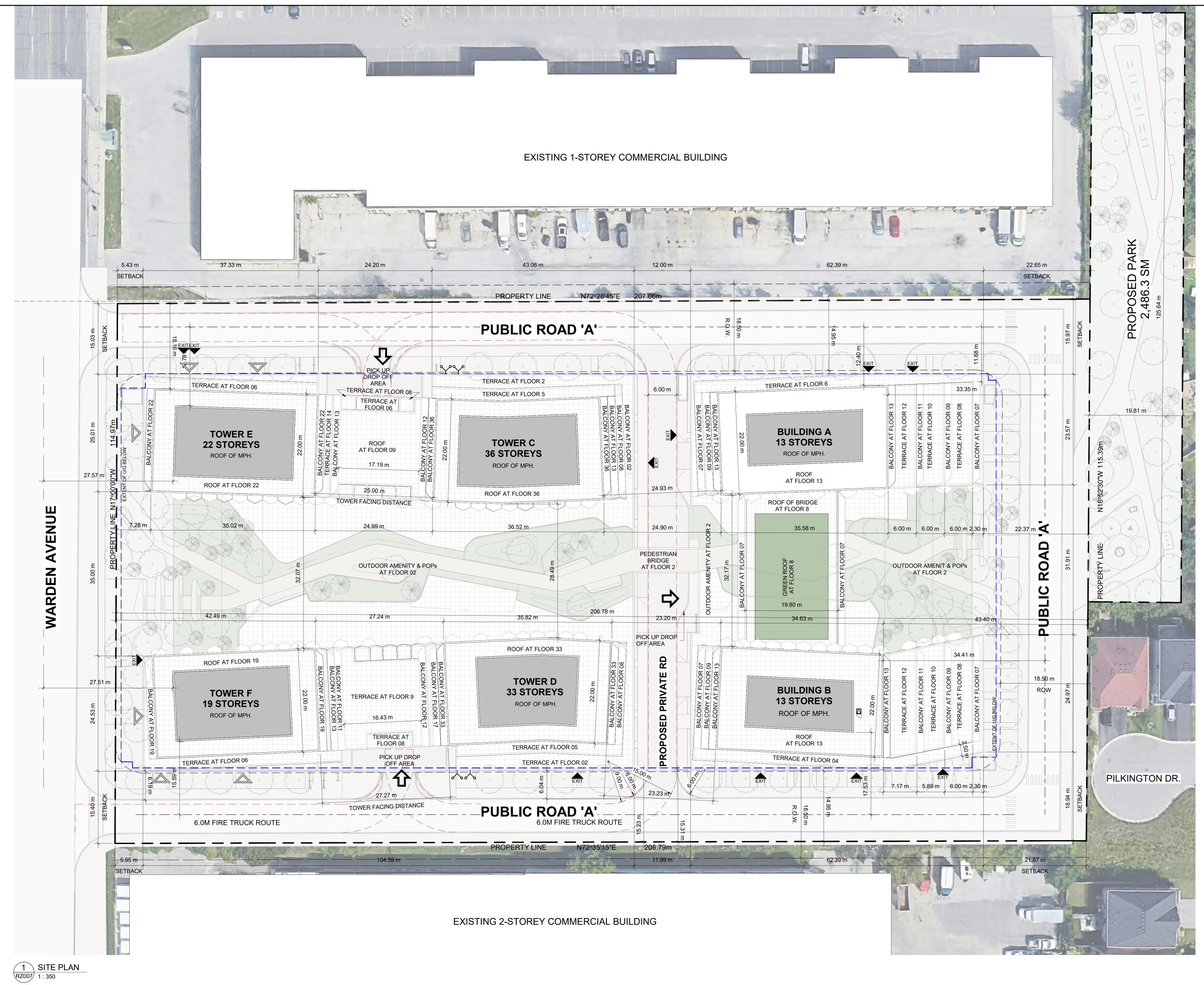


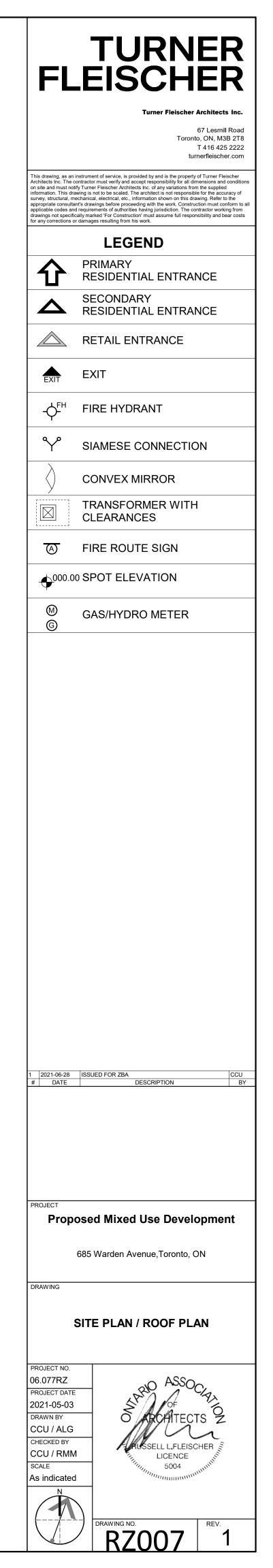


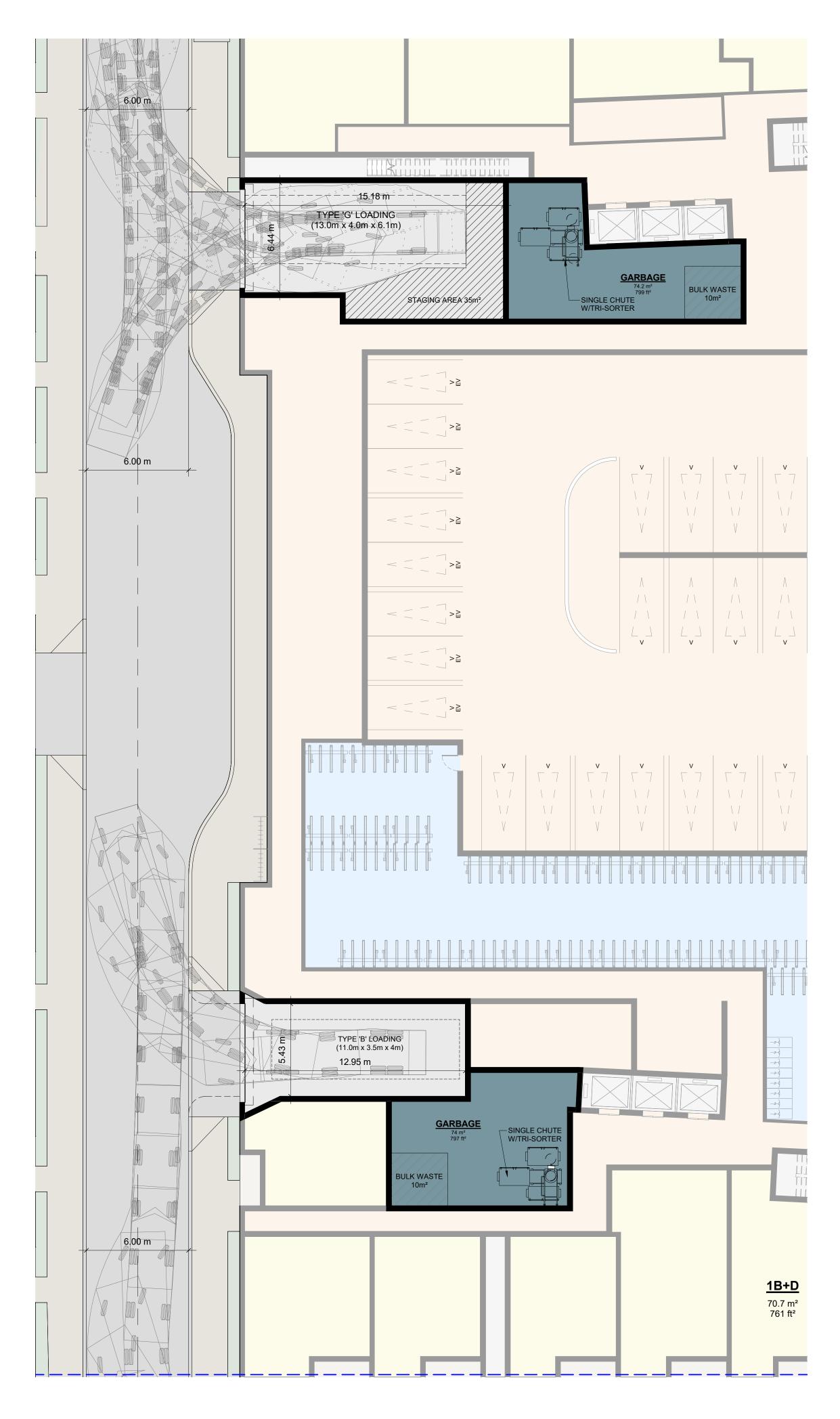
TAN OR MASSEY CREEK

HIGH-RISE RESIDENTIAL

FIRVALLEY WOODS







1 WASTE MANAGEMENT PLAN A&B

RESIDENTIAL TYPE 'G' LOADING - 13mx4m WITH 6.1m VERTICAL CLEARANCE:

- NOTES: 1. ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (+/-8%), AT LEAST 4.5 METERS WIDE THROUGHOUT THE SITE AND 6 METERS WIDE AT ENTRANCES AND EXITS, AND WILL HAVE A MINIMUM OVERHEAD TRAVELING CLEARANCE OF 4.4 METERS INCLUDING WHEN TRAVELING THROUGH OVER HEAD DOORS.
- 2. THE TYPE G LOADING SPACE WILL BE CONSTRUCTED OF AT LEAST 200MM OF REINFORCED CONCRETE, BE LEVEL (+/-2%) AND BE AT LEAST 4 METERS WIDE, 13 METERS LONG AND HAVE A VERTICAL CLEARANCE OF 6.1 METERS.
- 3. A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANEUVER BIN FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAG MAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
- 4. SHARING OF TYPE G LOADING SPACE RESIDENTIAL USE OF LOADING SPACE FOR PURPOSES OF MOVING WILL BE SCHEDULED ACCORDING TO GARBAGE PICK UP TIMES. SHOULD THE TYPE G SPACE BE NEEDED FOR USE BY COMMERCIAL SECTORS, THE COMMERCIAL COMPONENT MUST ARRANGE THIS USE SUCH THAT IT DOES NOT CONFLICT WITH ANY RESIDENTIAL USES
- 5. BEFORE SOLD WASTE COLLECTION SERVICES ARE TO BEGIN, THE CITY WILL NEED TO BE PROVIDED WITH A LETTER CERTIFIED BY A PROFESSIONAL ENGINEER THAT IN ALL CASES WHERE A COLLECTION VEHICLE IS REQUIRED TO DRIVE ONTO OR OVER A SUPPORTED STRUCTURE AND THE STRUCTURE CAN SAFELY SUPPORT A FULLY LOADED COLLECTION VEHICLE (35,000 KILOGRAMS) AND CONFORMS TO THE FOLLOWING: i. DESIGN CODE- ONTARIO BUILDING CODE. ii. DESIGN LOAD- CITY BULK LIFT VEHICLE IN ADDITION BUILDING CODE REQUIREMENTS. iii. IMPACT FACTOR- 5% FOR MAXIMUM VEHICULAR SPEEDS TO 15 KM/H AND 30% FOR HIGHER SPEEDS

<u>REQUIRED</u>

SOLID WASTE MANAGEMENT PLAN REQUIRED: 25m² FOR THE FIRST 50 UNITS PLUS AN ADDITIONAL 13m² FOR EACH ADDITIONAL 50 UNITS AND MINIMUM OF 10m² FOR BULKY ITEMS. STAGING AREA REQUIRED: 5m² REQUIRED PER 50 UNITS

BUILDING A REQUIRED NUMBER OF UNITS = 198

- = 198 50
- = 148 / 50 = 3 x 13m²
- = 39 + 25 = 64 + 10m² BULKY ITEMS

TOTAL 74m² WASTE STORAGE ROOM SIZE REQUIRED STAGING AREA REQUIRED: @ 198 UNITS, 20m² MINIMUM REQUIRED

PROVIDED

SOLID WASTE MANAGEMENT PLAN PROVIDED: 81.2m² WASTE STORAGE ROOM SIZE PROVIDED

STAGING AREA PROVIDED: 35m² STAGING AREA PROVIDED FOR BOTH TOWERS A&B

BUILDING B REQUIRED NUMBER OF UNITS = 169

= 169 - 50 = 119 / 50 = 3 x 13m² = 39 + 25 64 + 10m² BULKY ITEMS

TOTAL 74m² WASTE STORAGE ROOM SIZE REQUIRED STAGING AREA REQUIRED: @ 169 UNITS, 17m² MINIMUM REQUIRED

PROVIDED

SOLID WASTE MANAGEMENT PLAN PROVIDED: 68.9m² WASTE STORAGE ROOM SIZE PROVIDED **Turner Fleischer Architects Inc.**

TURNER

FLEISCHER

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DESCRIPTION

RESIDENTIAL SOLID WASTE MANAGEMENT PLAN (BUILDINGS A & B)

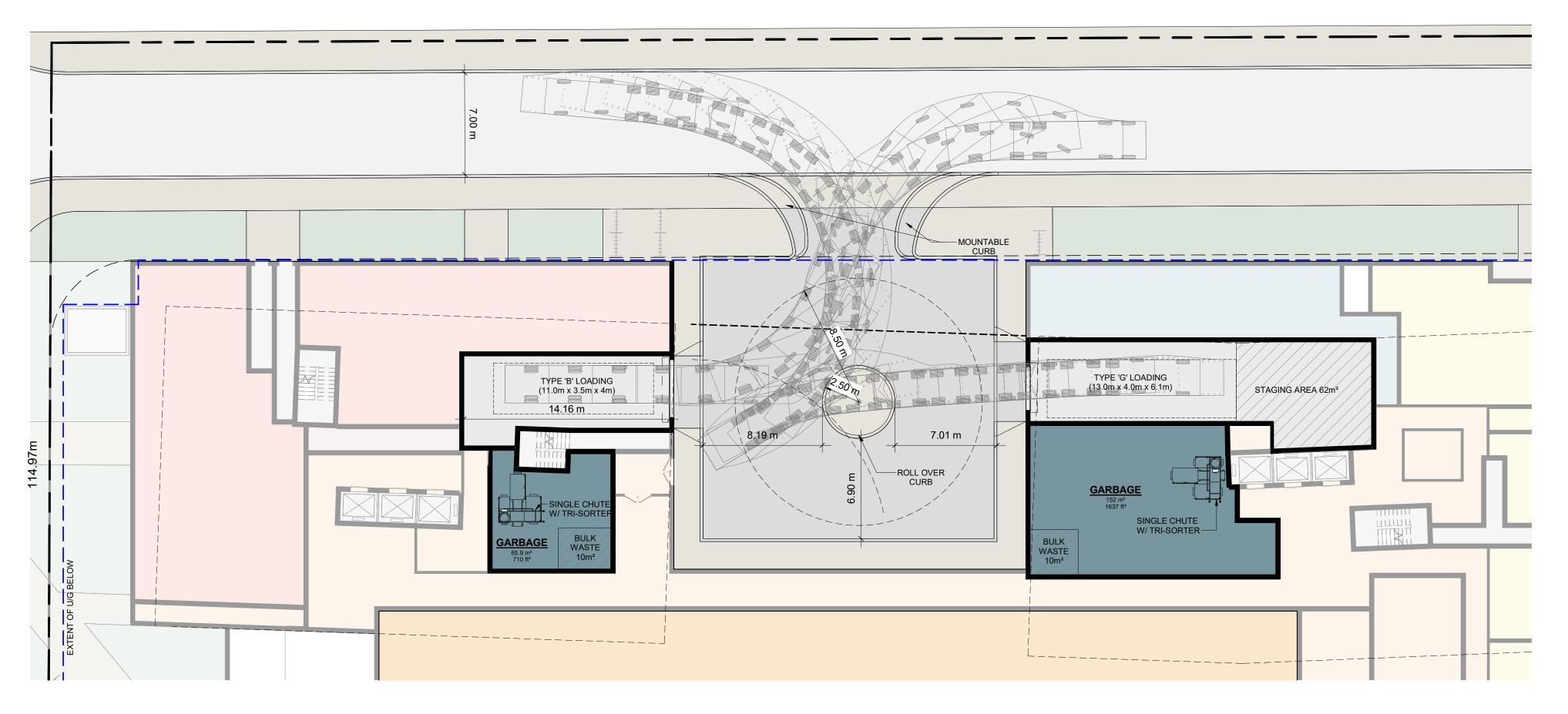
RAWING NO

RZ008

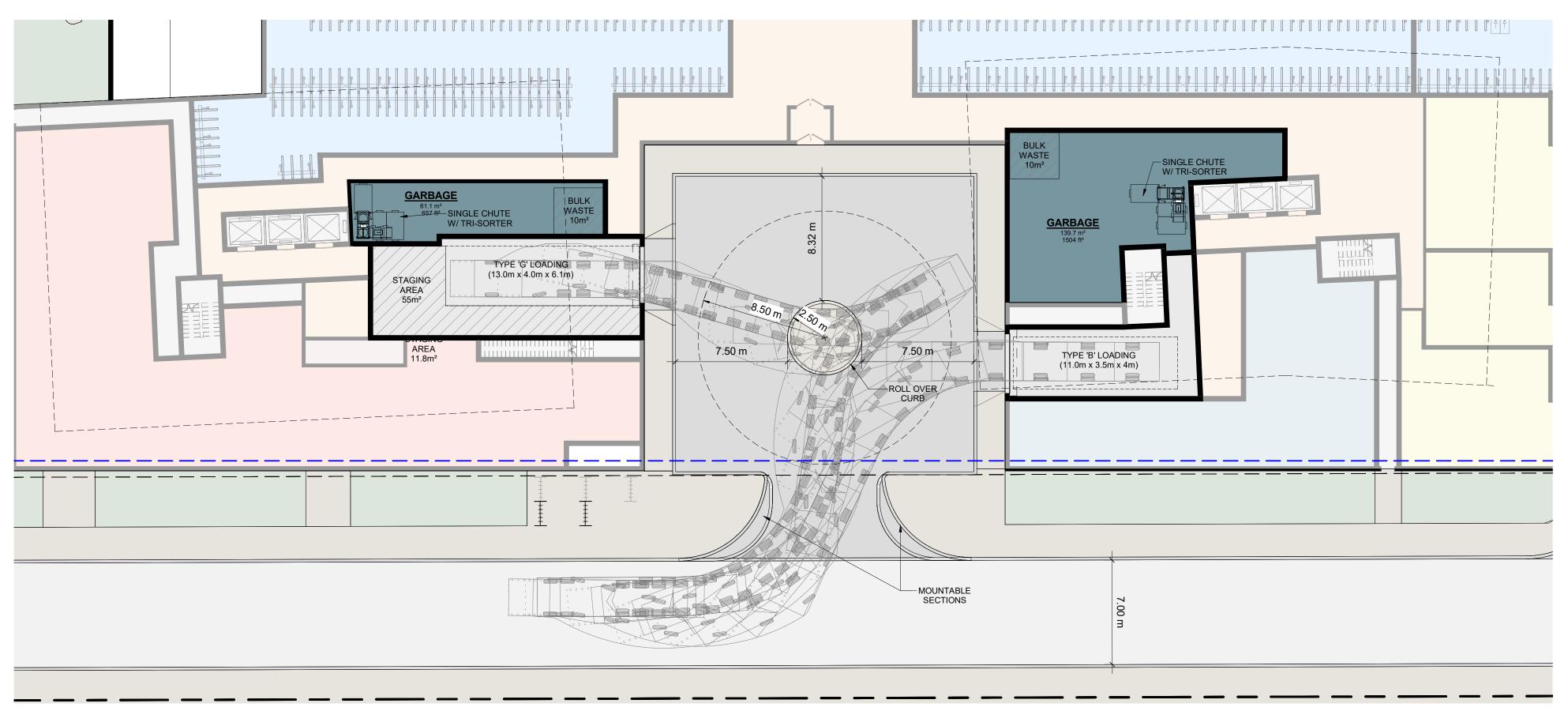
PROJECT NO. 06.077RZ PROJECT DATE 2021-05-03 DRAWN BY CCU / ALG CHECKED BY CCU/RMM SCALE : 150

DATE





1 WASTE MANAGEMENT PLAN - BUILDINGS C & E



RESIDENTIAL TYPE 'G' LOADING - 13mx4m WITH 6.1m VERTICAL CLEARANCE:

NOTES:

- i. DESIGN CODE- ONTARIO BUILDING CODE. SPEEDS

REQUIRED

MINIMUM OF 10m² FOR BULKY ITEMS. STAGING AREA REQUIRED: 5m² REQUIRED PER 50 UNITS

BUILDING C REQUIRED NUMBER OF UNITS = 470

- = 470 50 = 420 / 50 = 9 x 13m²
- = 117 + 25 = 142 + 10m² BULKY ITEMS

PROVIDED

SOLID WASTE MANAGEMENT PLAN PROVIDED: 152m² WASTE STORAGE ROOM SIZE PROVIDED

STAGING AREA PROVIDED:

BUILDING E REQUIRED NUMBER OF UNITS = 145

= 145 - 50 = 95 / 50 = 2 x 13m² = 26 + 25

= 51 + 10m² BULKY ITEMS

TOTAL 61m² WASTE STORAGE ROOM SIZE REQUIRED STAGING AREA REQUIRED: @ 145 UNITS, 15m² MINIMUM REQUIRED

PROVIDED

SOLID WASTE MANAGEMENT PLAN PROVIDED: 65.9m² WASTE STORAGE ROOM SIZE PROVIDED

BUILDING D REQUIRED NUMBER OF UNITS = 419

= 419 - 50 = 369 / 50

= 8 x 13m² = 104 + 25

= 129 + 10m² BULKY ITEMS

TOTAL 139m² WASTE STORAGE ROOM SIZE REQUIRED STAGING AREA REQUIRED: @ 419 UNITS, 42m² MINIMUM REQUIRED

PROVIDED

SOLID WASTE MANAGEMENT PLAN PROVIDED: 139m² WASTE STORAGE ROOM SIZE PROVIDED

STAGING AREA PROVIDED:

BUILDING F REQUIRED NUMBER OF UNITS = 118

= 118 - 50

= 68 / 50 = 2 x 13m² = 26 + 25

= 51 + 10m² BULKY ITEMS

PROVIDED

SOLID WASTE MANAGEMENT PLAN PROVIDED: 61m² WASTE STORAGE ROOM SIZE PROVIDED

1. ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (+/-8%), AT LEAST 4.5 METERS WIDE THROUGHOUT THE SITE AND 6 METERS WIDE AT ENTRANCES AND EXITS, AND WILL HAVE A MINIMUM OVERHEAD TRAVELING CLEARANCE OF 4.4 METERS INCLUDING WHEN TRAVELING THROUGH OVER HEAD DOORS.

2. THE TYPE G LOADING SPACE WILL BE CONSTRUCTED OF AT LEAST 200MM OF REINFORCED CONCRETE, BE LEVEL (+/-2%) AND BE AT LEAST 4 METERS WIDE, 13 METERS LONG AND HAVE A VERTICAL CLEARANCE OF 6.1 METERS.

3. A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANEUVER BIN FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAG MAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE. THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.

4. SHARING OF TYPE G LOADING SPACE - RESIDENTIAL USE OF LOADING SPACE FOR PURPOSES OF MOVING WILL BE SCHEDULED ACCORDING TO GARBAGE PICK UP TIMES. SHOULD THE TYPE G SPACE BE NEEDED FOR USE BY COMMERCIAL SECTORS, THE COMMERCIAL COMPONENT MUST ARRANGE THIS USE SUCH THAT IT DOES NOT CONFLICT WITH ANY RESIDENTIAL USES.

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ii. DESIGN LOAD- CITY BULK LIFT VEHICLE IN ADDITION BUILDING CODE REQUIREMENTS. iii. IMPACT FACTOR- 5% FOR MAXIMUM VEHICULAR SPEEDS TO 15 KM/H AND 30% FOR HIGHER

SOLID WASTE MANAGEMENT PLAN REQUIRED:

25m² FOR THE FIRST 50 UNITS PLUS AN ADDITIONAL 13m² FOR EACH ADDITIONAL 50 UNITS AND

TOTAL 152m² WASTE STORAGE ROOM SIZE REQUIRED STAGING AREA REQUIRED: @ 470 UNITS, 47m² MINIMUM REQUIRED

62m² STAGING AREA PROVIDED FOR BUILDING C AND E COMBINED

55m² STAGING AREA PROVIDED FOR BUILDINGS D AND E COMBINED

TOTAL 61m² WASTE STORAGE ROOM SIZE REQUIRED STAGING AREA REQUIRED: @ 118 UNITS, 13m² MINIMUM REQUIRED



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Turner Fleischer Architects Inc.

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Proposed Mixed Use Development

 2021-06-28
 ISSUED FOR ZBA

 #
 DATE
 DESCRIPTION

685 Warden Avenue, Toronto, ON

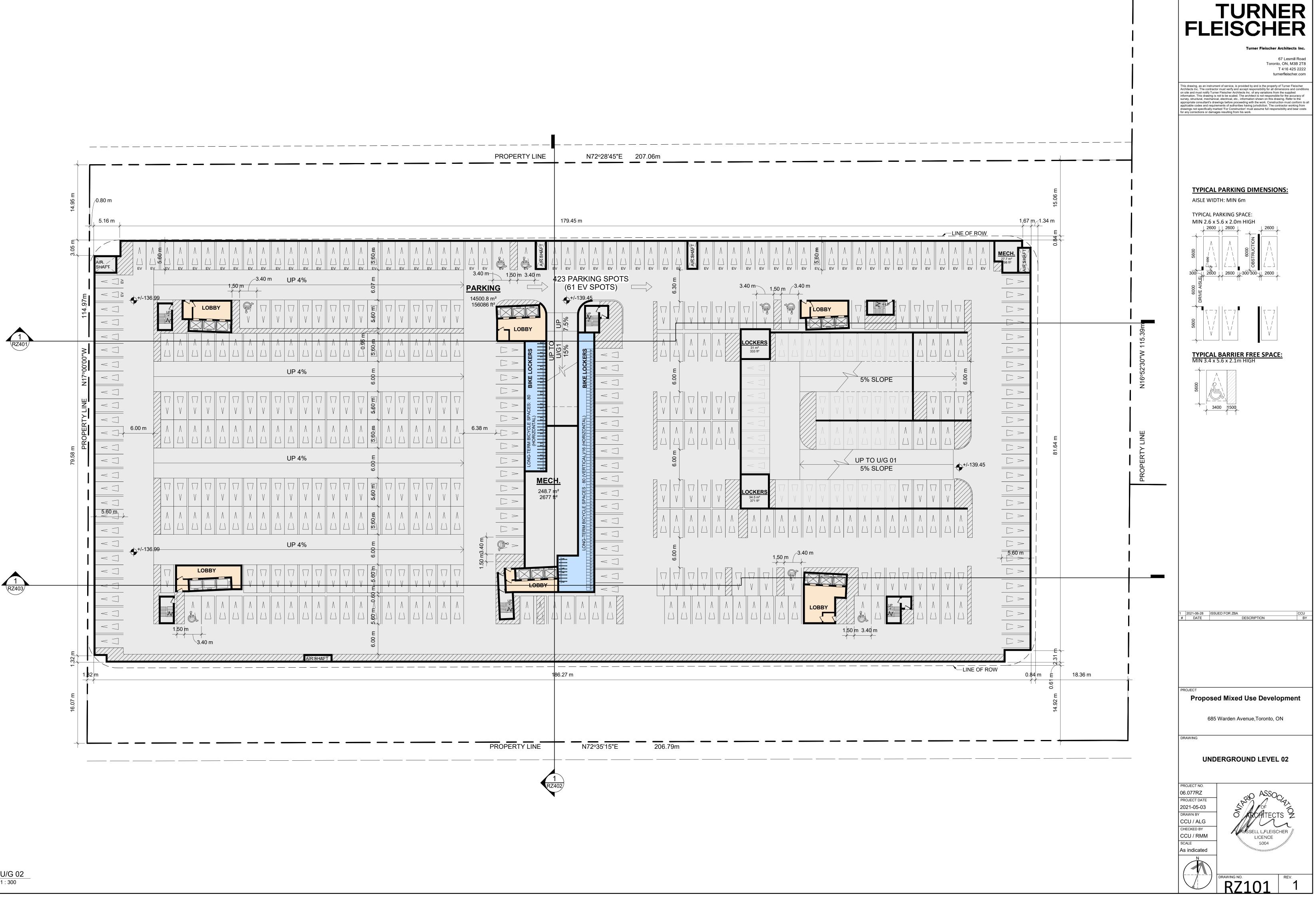
RESIDENTIAL SOLID WASTE MANAGEMENT PLAN (BUILDINGS C & E) (BUILDINGS D & F)

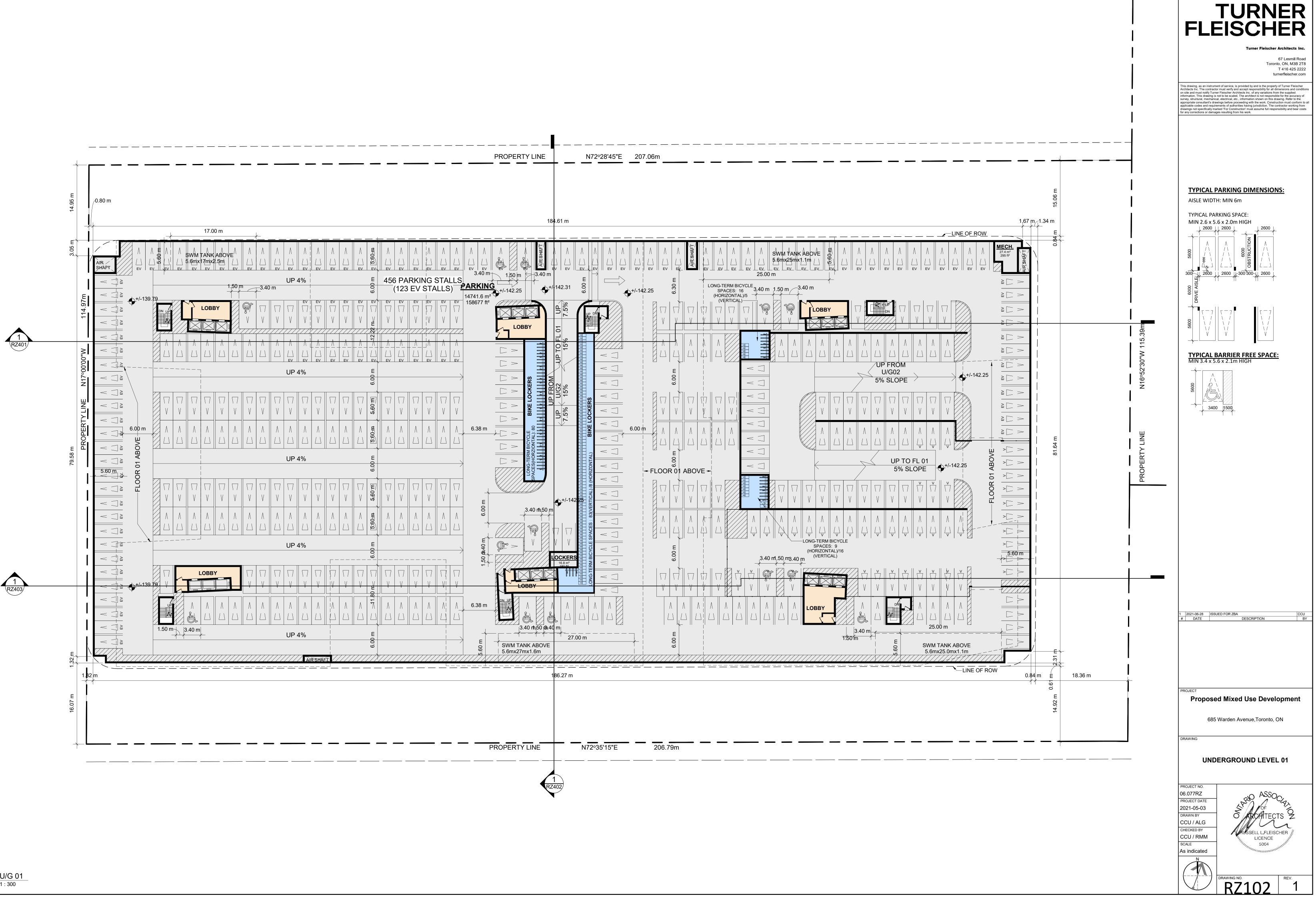
RZ009

PROJECT NO. 06.077RZ PROJECT DATE 2021-05-03 DRAWN BY CCU / ALG CHECKED BY CCU/RMM SCALE 1:200

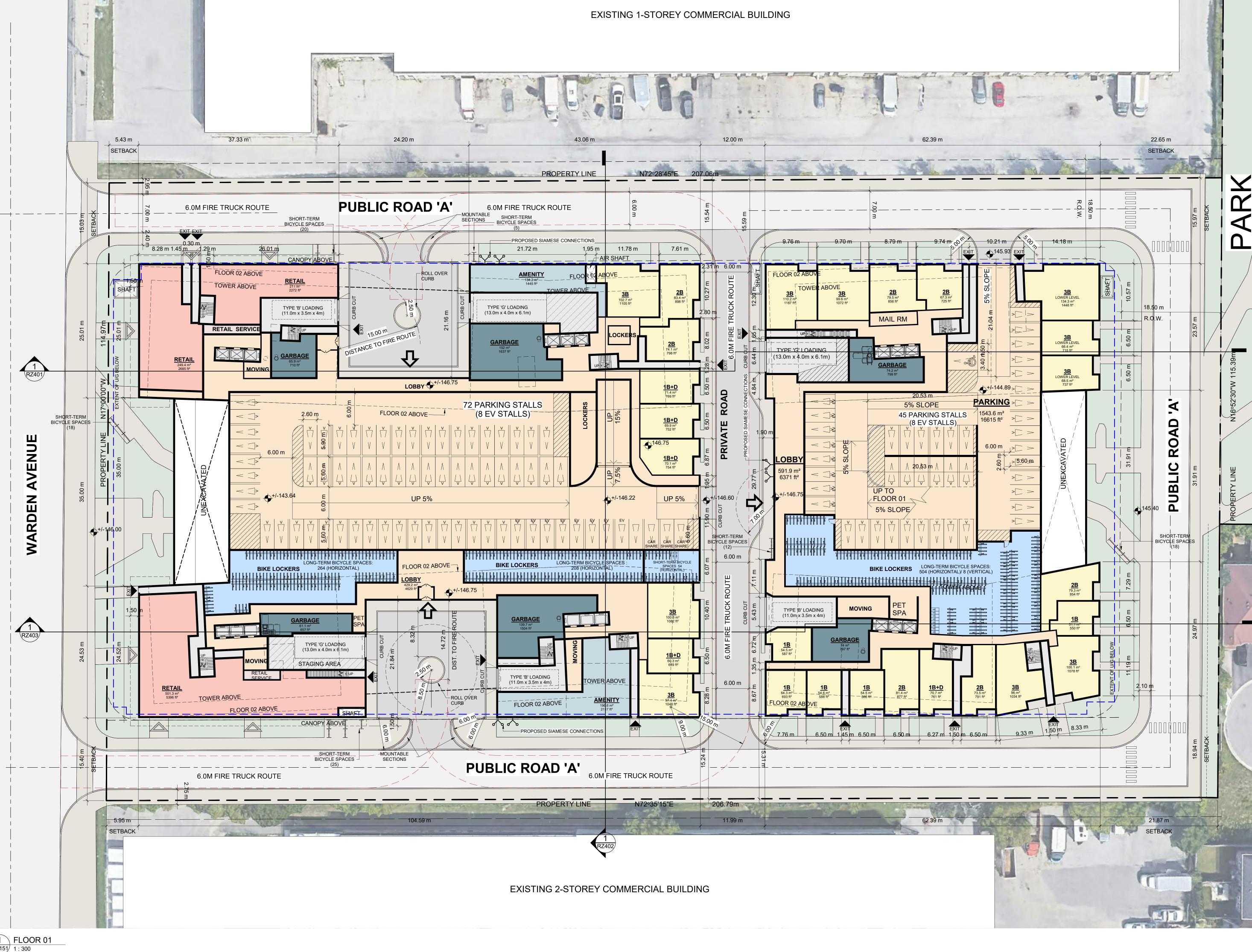
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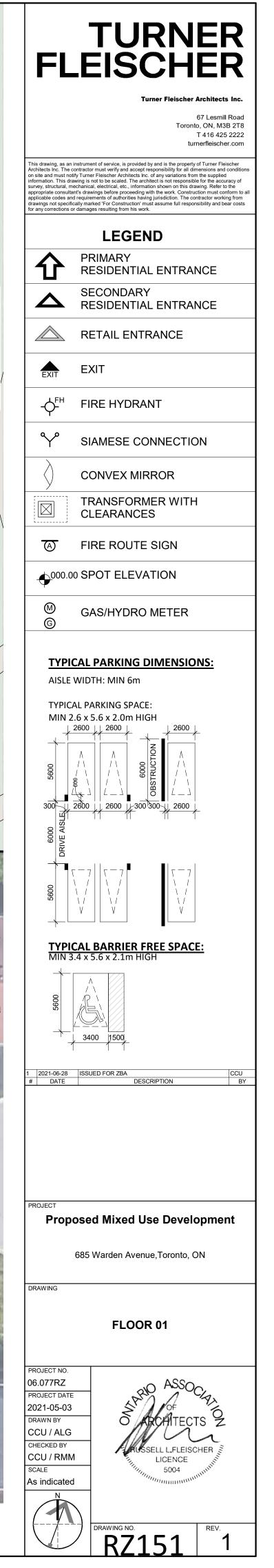


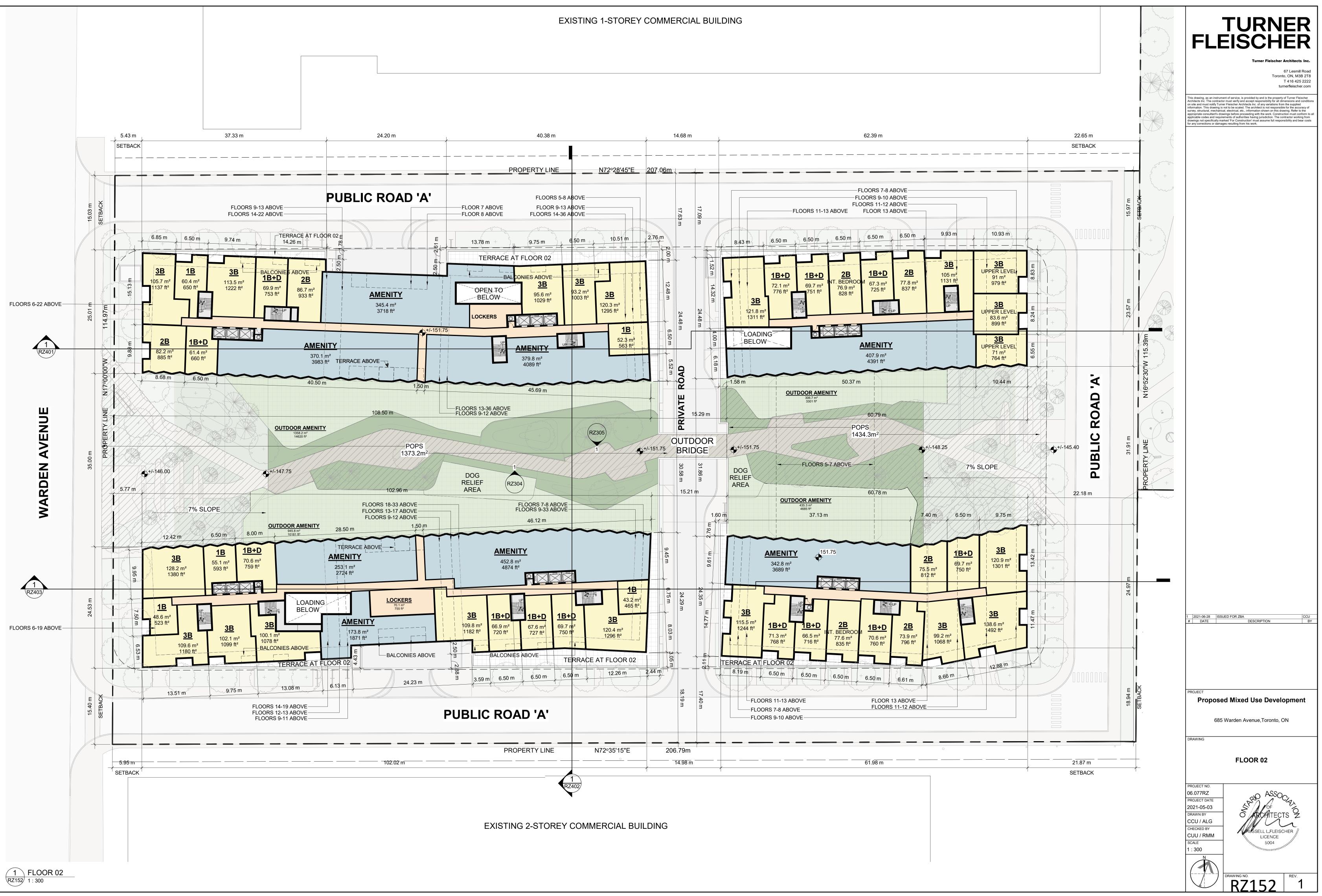




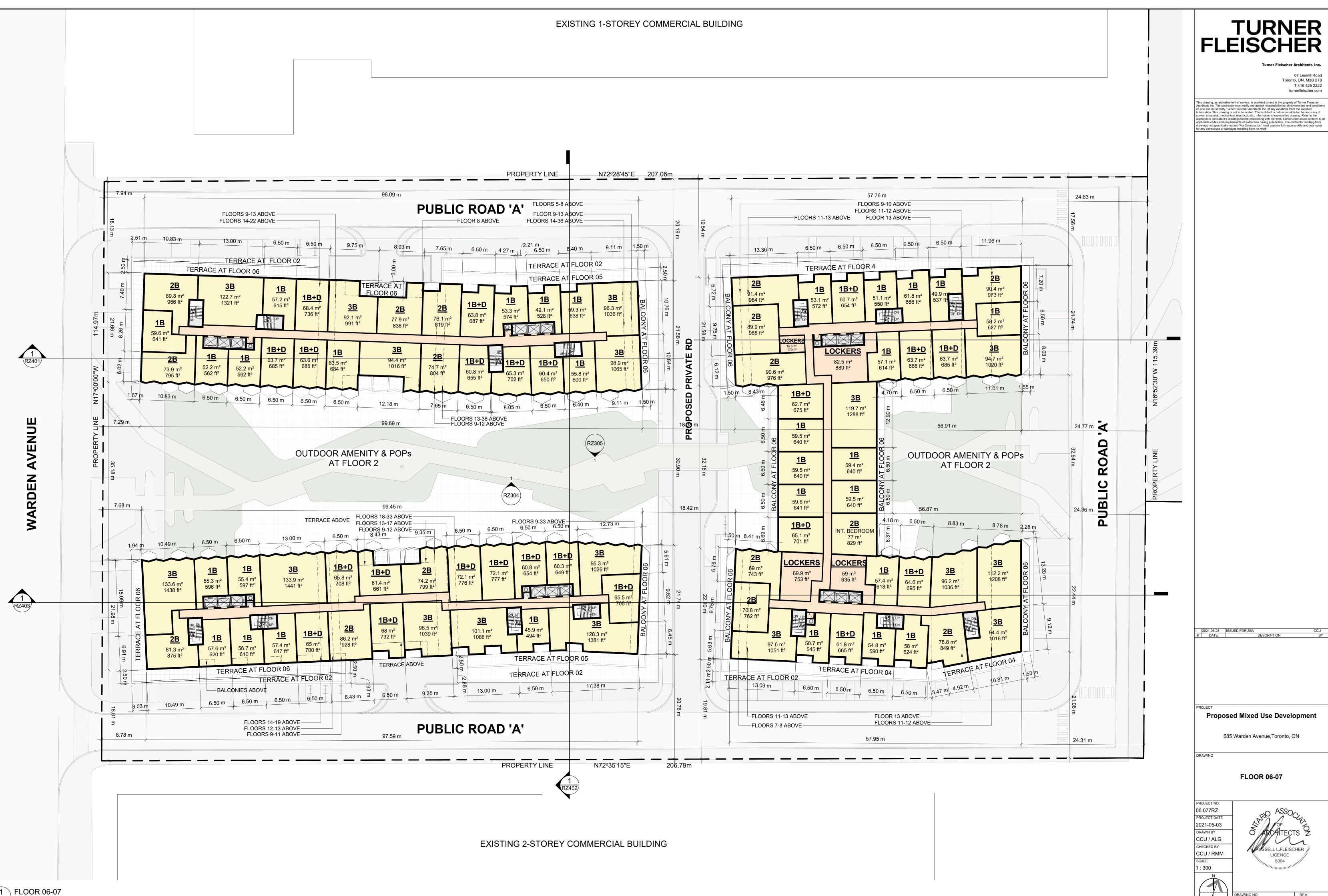
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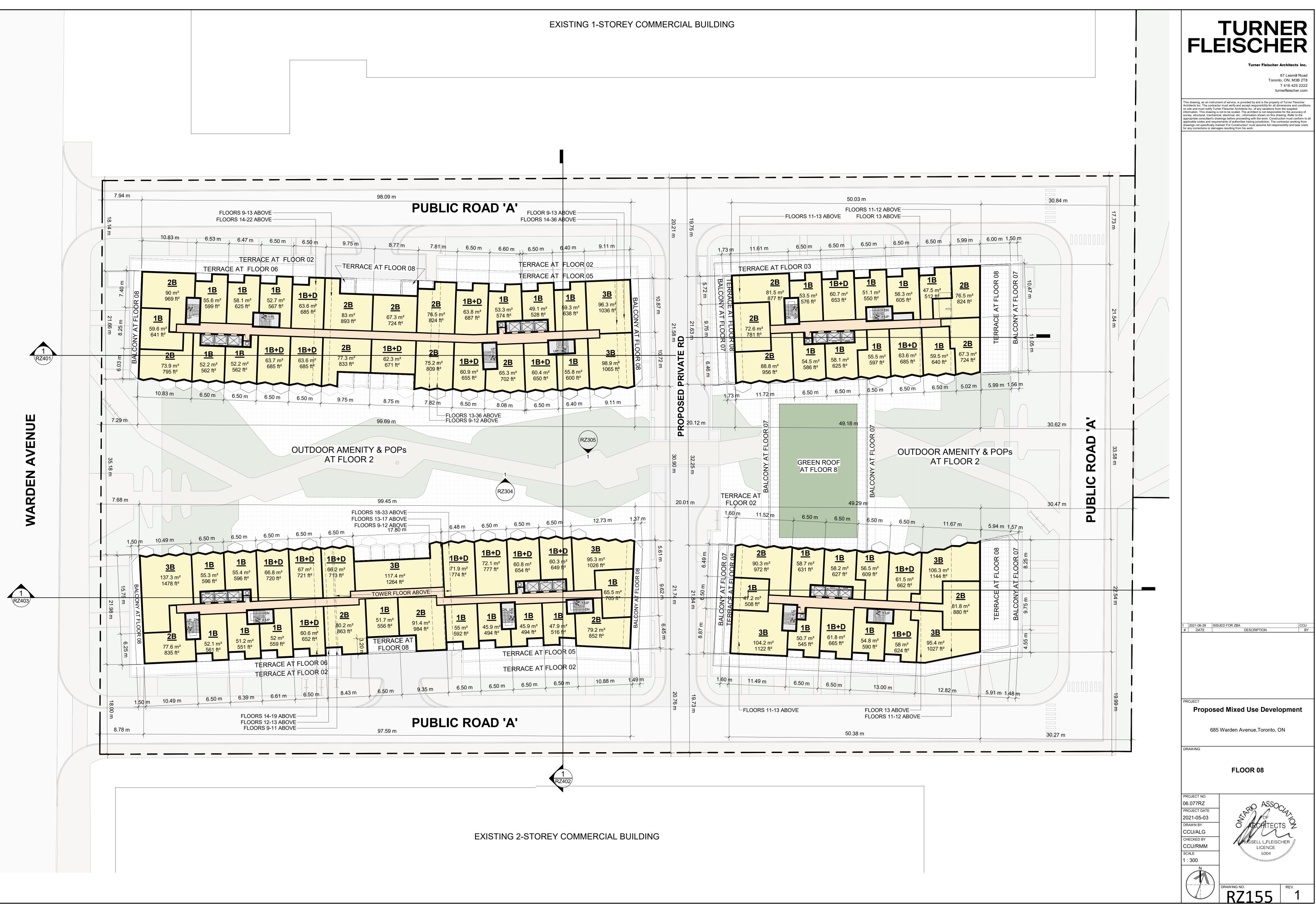






RZ154

1 FLOOR 06-07 RZ154 1:300





TYPICAL FLOORS 8-9 (BLDG A & B)





1 TYPICAL FLOORS 12-13 (BLDG A &B) RZ157 1 : 200



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OJECT Proposed Mixed Use Development

685 Warden Avenue,Toronto, ON

DRAWING

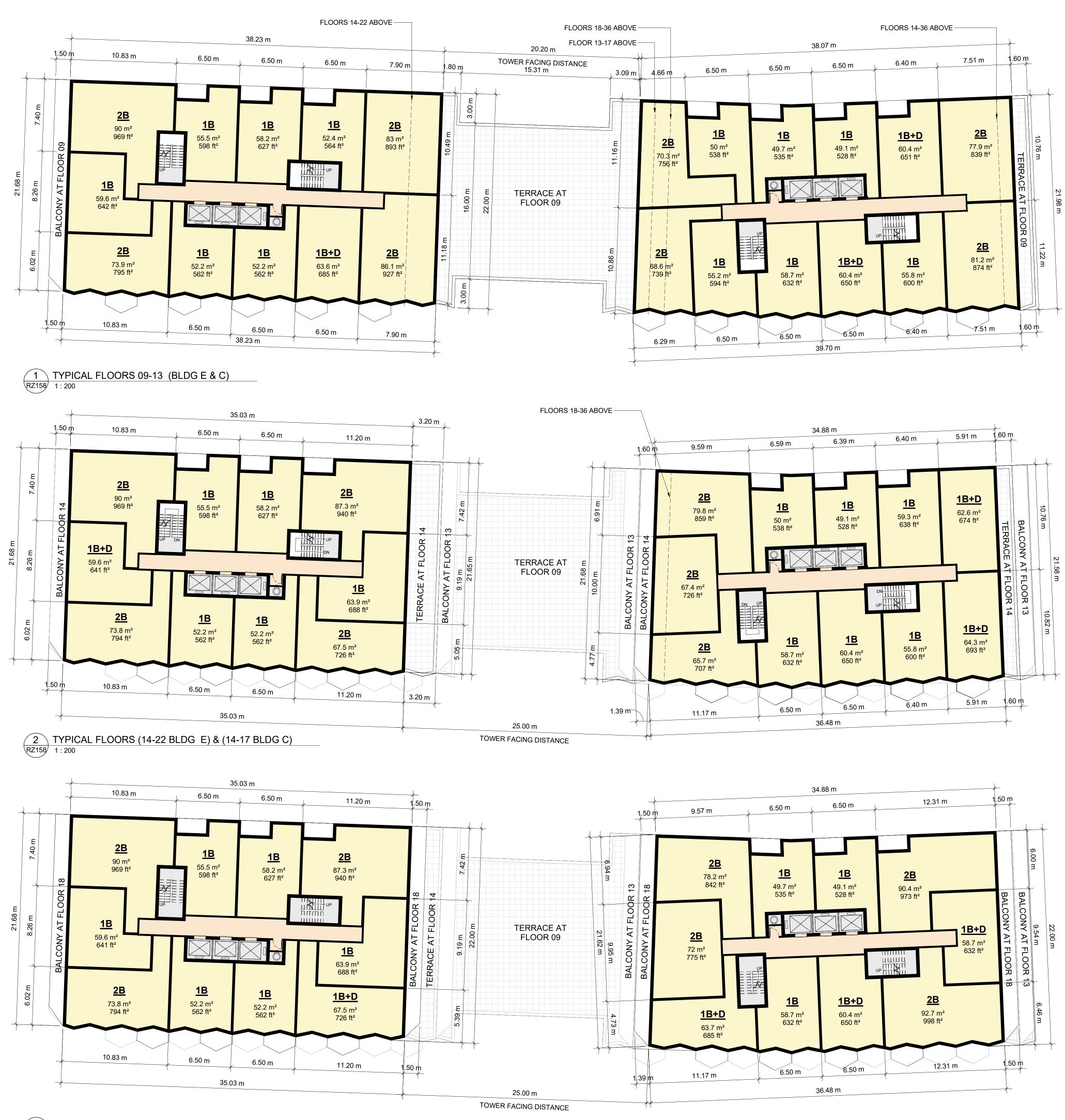
TYPICAL FLOORS (A&B)

RZ157

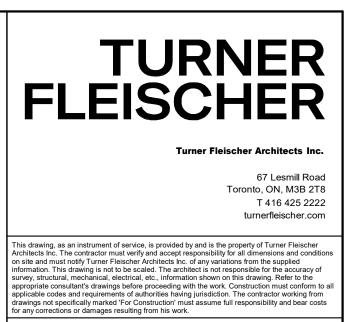
PROJECT NO. 06.077RZ PROJECT DATE 2021-05-03 DRAWN BY CCU / ALG CHECKED BY CCU / RMM SCALE 1 : 200



REV.



3 TYPICAL FLOORS 18-36 (BLDG C) RZ158 1 : 200



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 2021-06-28
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 DATE
 DESCRIPTION
 CCU BY

ROJECT Proposed Mixed Use Development

685 Warden Avenue,Toronto, ON

DRAWING

TYPICAL FLOORS (BLDG C & E)

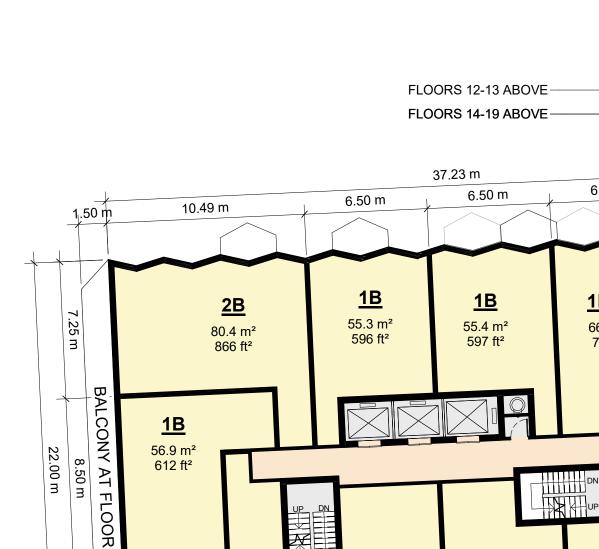
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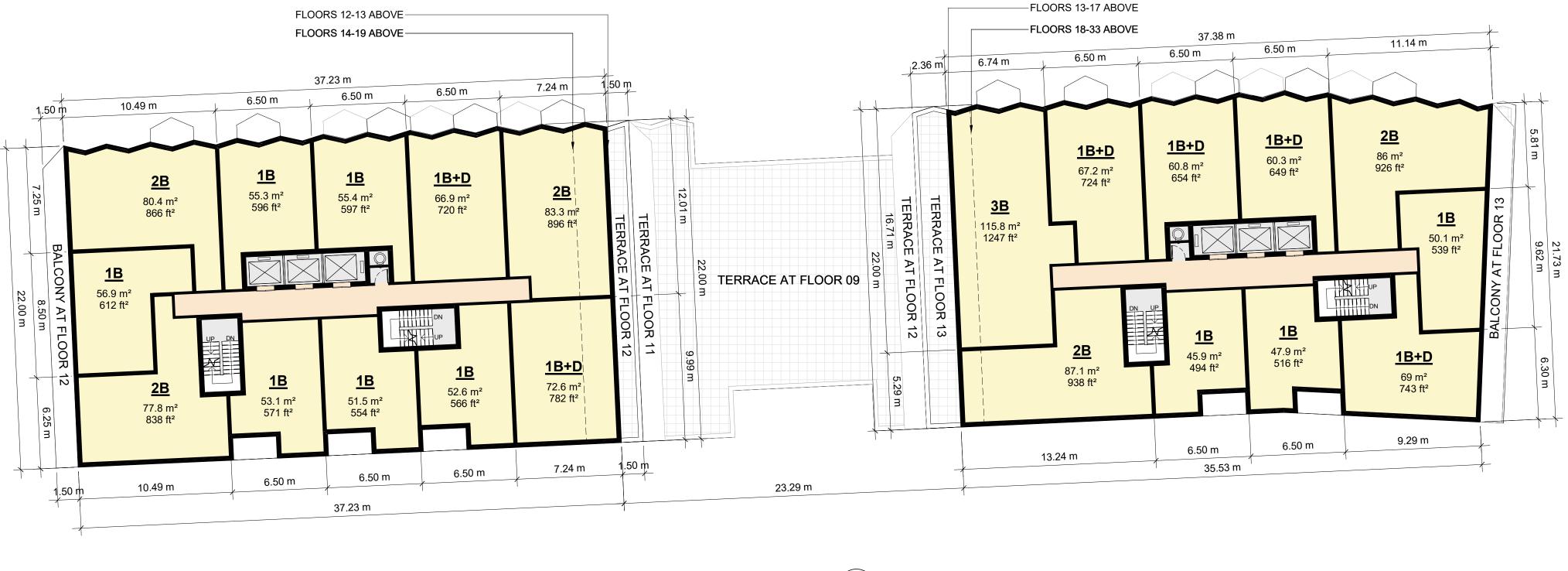
PROJECT NO. 06.077RZ PROJECT DATE 2021-05-03 DRAWN BY CCU / ALG CHECKED BY CCU / RMM SCALE 1 : 200



REV.







3 TYPICAL FLOORS 12-13 (BLDG F) RZ159 1:200

2 TYPICAL FLOORS 13-17 (BLDG D) RZ159 1:200



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Turner Fleischer Architects Inc.

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Proposed Mixed Use Development

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 2021-06-28
 ISSUED FOR ZBA

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 DATE
 DESCRIPTION

685 Warden Avenue,Toronto, ON

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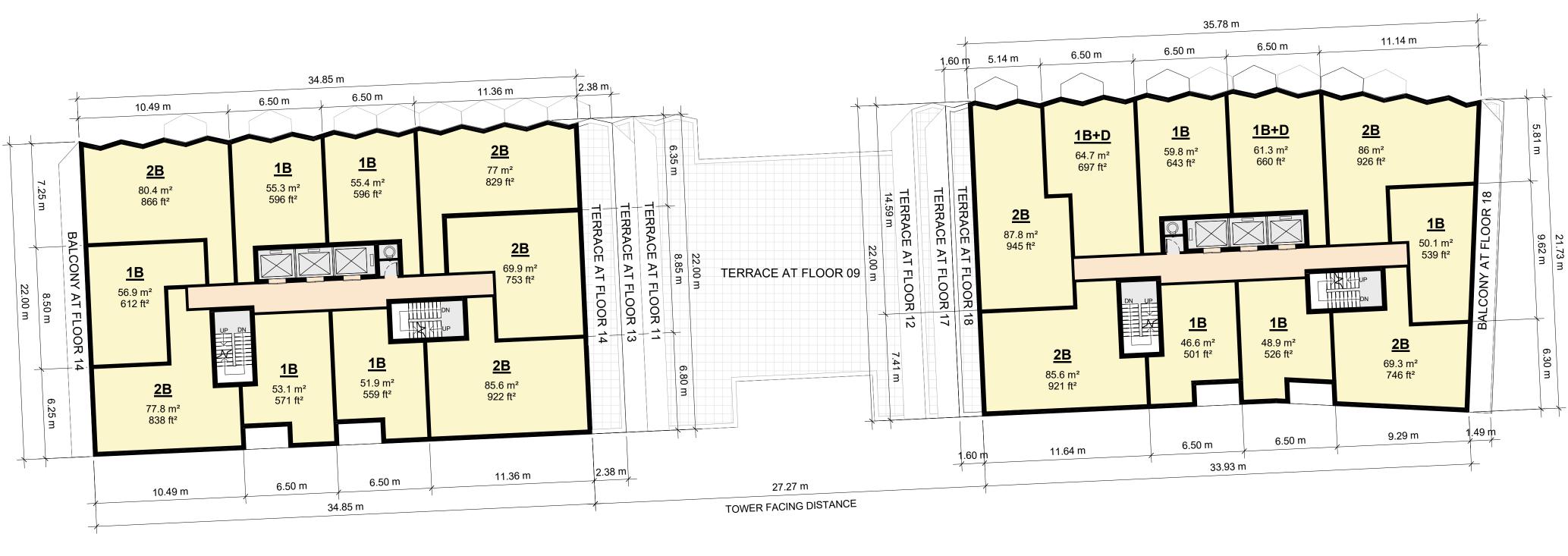
TYPICAL FLOORS (BLDG D & F)

PROJECT NO. 06.077RZ PROJECT DATE 2021-05-03 DRAWN BY CCU / ALG CHECKED BY CCU / RMM SCALE 1 : 200



rev.

RZ159





2 TYPICAL FLOORS 18-29 (BLDG D) RZ160 1:200



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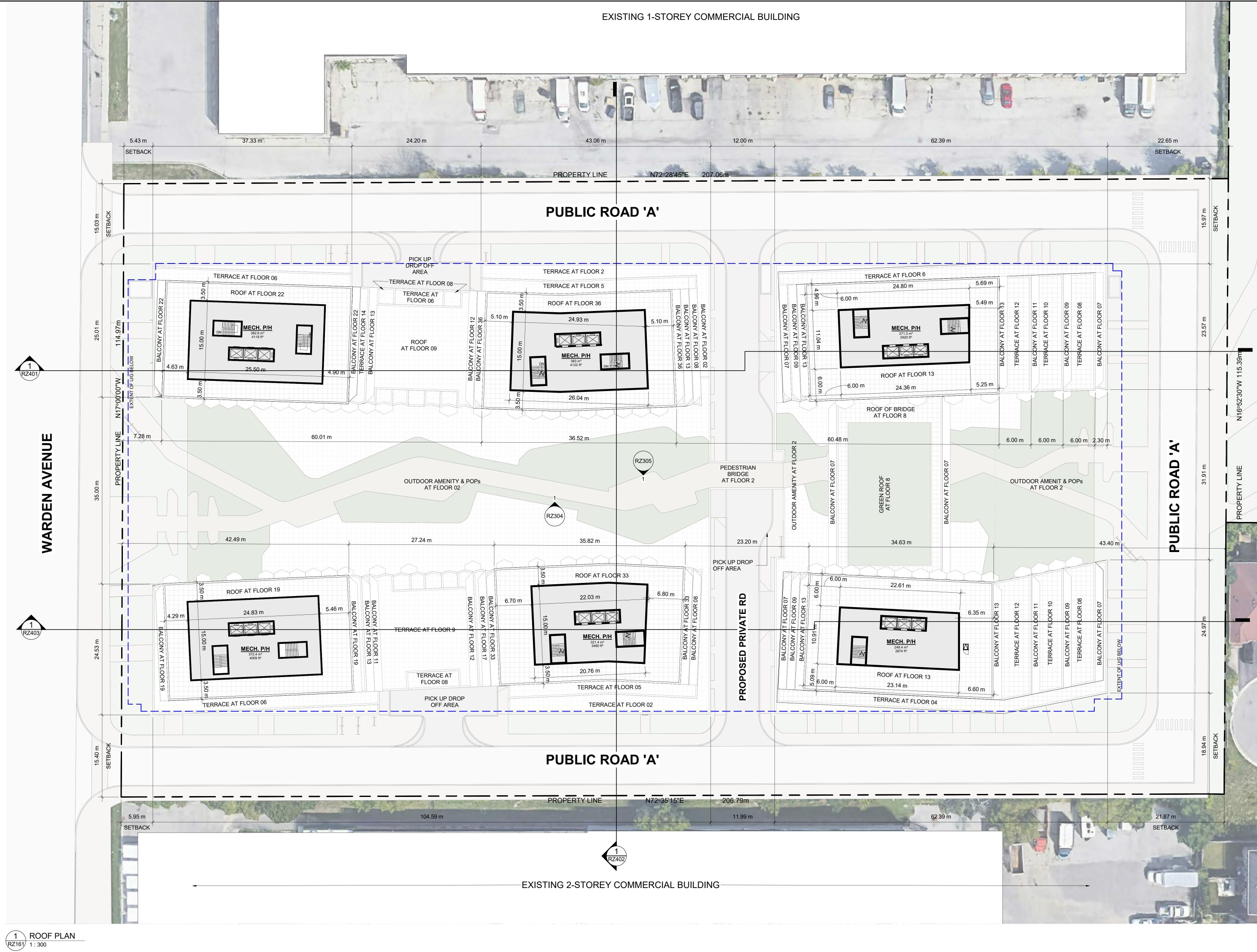
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1 2021-06-28 ISSUED FOR ZBA # DATE DESCRIPTION CCU BY OJEC. Proposed Mixed Use Development 685 Warden Avenue,Toronto, ON DRAWING TYPICAL FLOORS (BLDG D & F) PROJECT NO. 06.077RZ PROJECT DATE NO ASSOC DRAWN BY CCU / ALG CHECKED BY CCU / RMM USSELL L.FLEISCHER LICENCE SCALE 5004 1 : 200

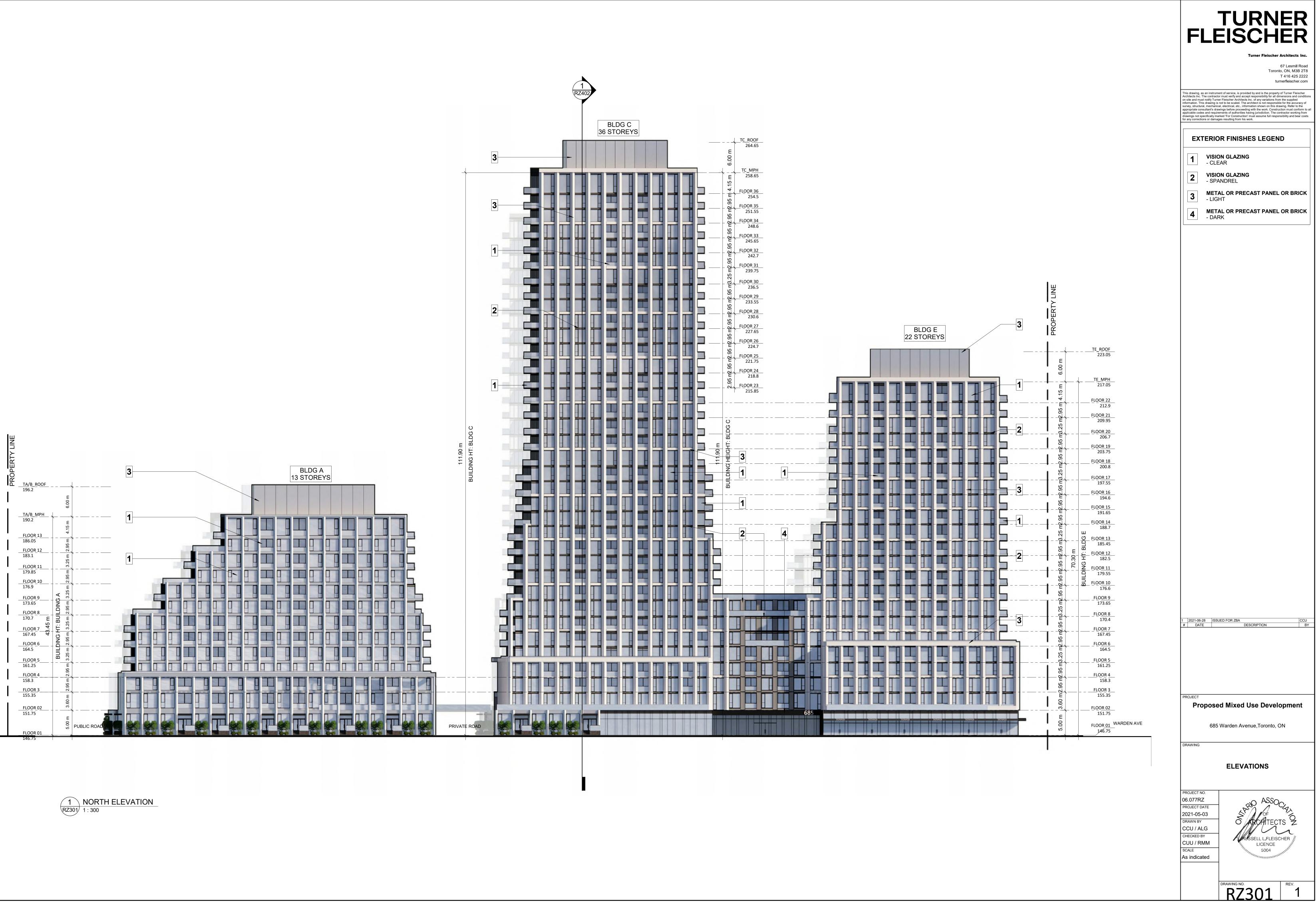
RZ160

REV.

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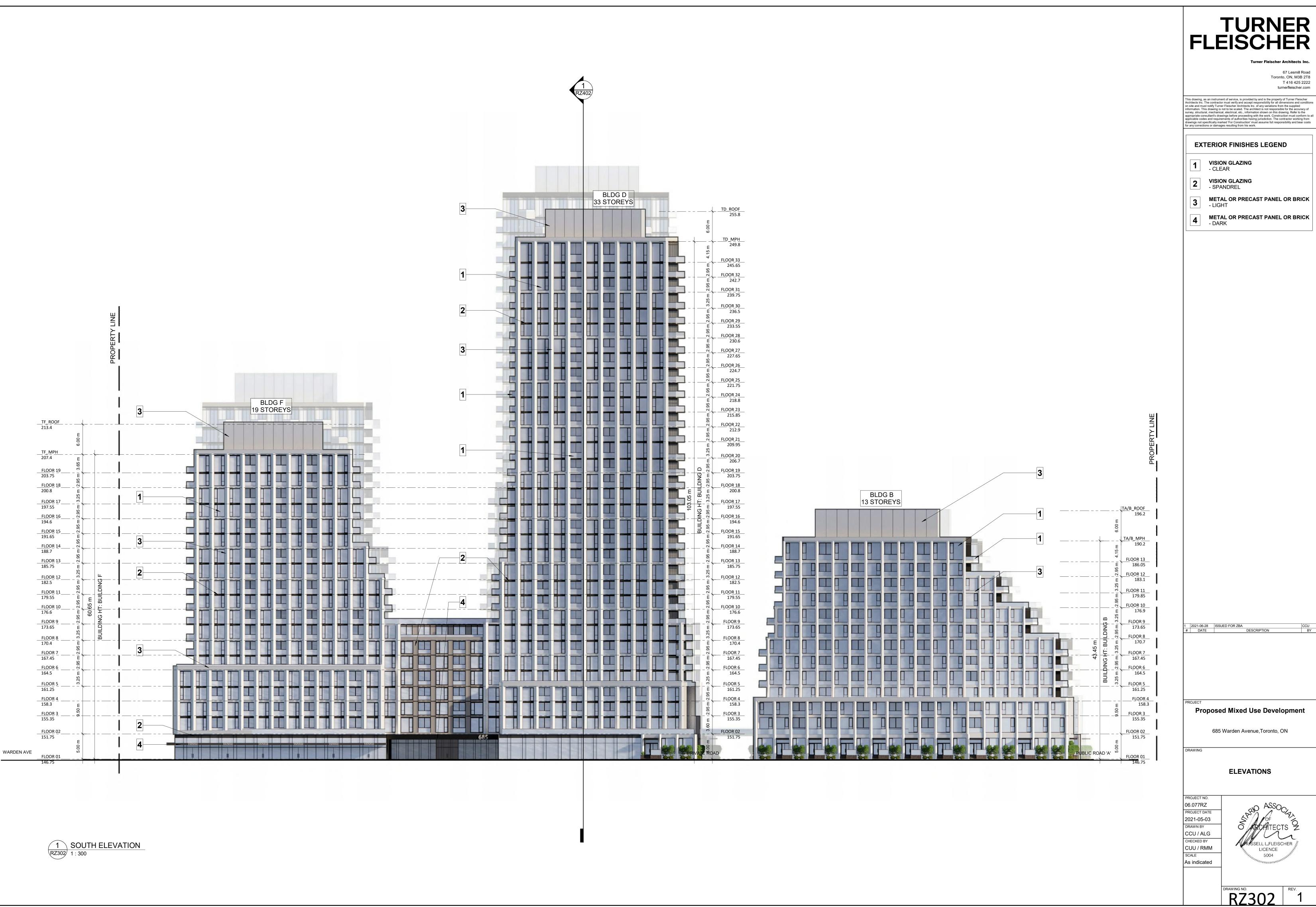


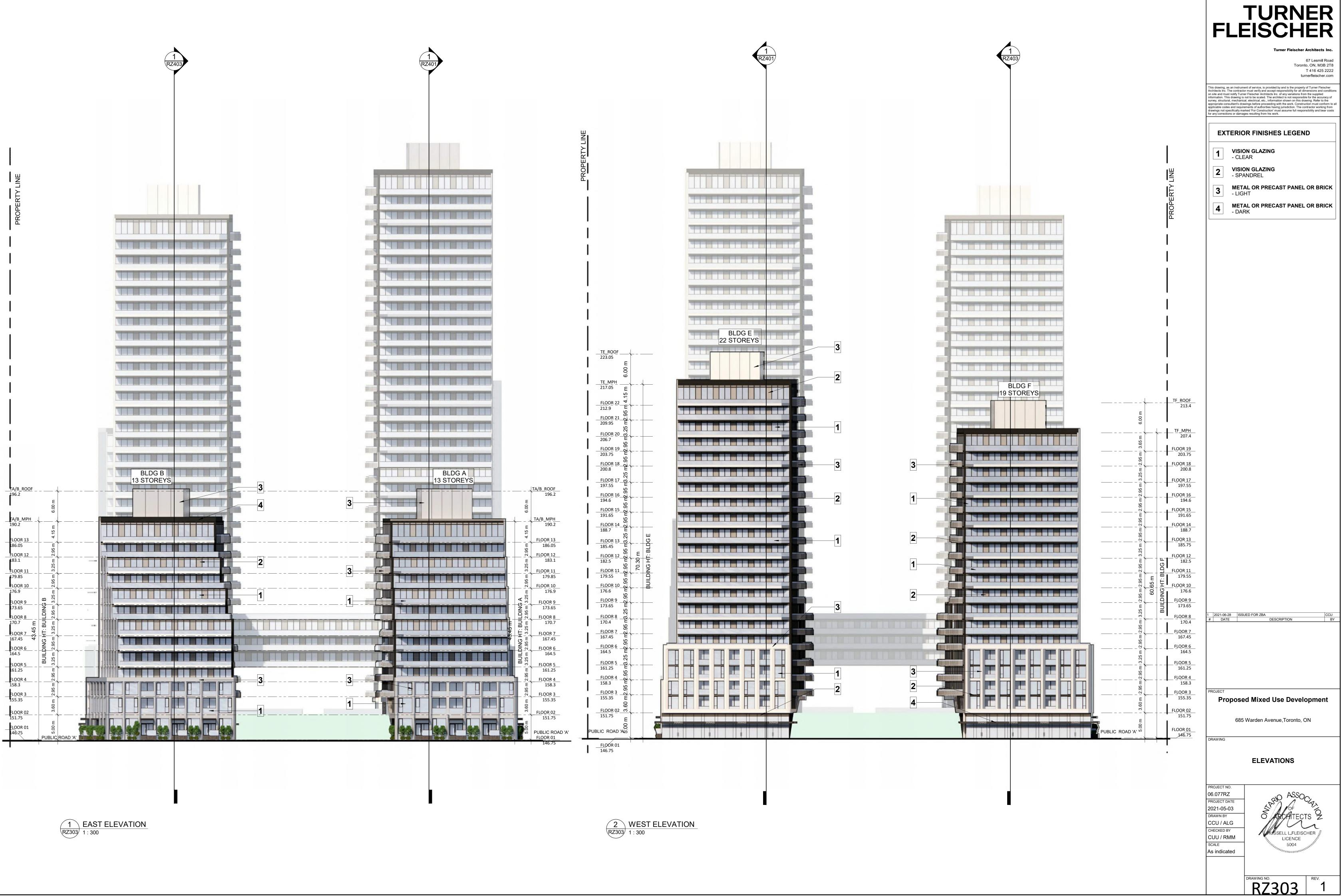
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	Turner Fleischer Architects Inc. 67 Lesmill Road Toronto, ON, M3B 2T8 T 416 425 2222
Architects Inc. The co on site and must notif information. This draw	turnerfleischer.com strument of service, is provided by and is the property of Turner Fleischer ontractor must verify and accept responsibility for all dimensions and condition y Turner Fleischer Architects Inc. of any variations from the supplied wing is not to be scaled. The architect is not responsible for the accuracy of chanical, electrical, etc., information shown on this drawing. Refer to the tris drawings before proceeding with the work. Construction must conform to requirements of authorities having jurisdiction. The contractor working from
drawings not specific	ally marked 'For Construction' must assume full responsibility and bear costs damages resulting from his work.
介	PRIMARY RESIDENTIAL ENTRANCE
	SECONDARY RESIDENTIAL ENTRANCE
	RETAIL ENTRANCE
EXIT	EXIT
- 今 ^{FH}	FIRE HYDRANT
\sim	SIAMESE CONNECTION
$\langle \rangle$	CONVEX MIRROR
	TRANSFORMER WITH CLEARANCES
Ø	FIRE ROUTE SIGN
	SPOT ELEVATION
(M) (G)	GAS/HYDRO METER
	te Symbols
1 2021-06-28 # DATE	ISSUED FOR ZBA CCU DESCRIPTION BY
PROJECT Propo	osed Mixed Use Development
	685 Warden Avenue,Toronto, ON
DRAWING	
	MPH PLAN
PROJECT NO. 06.077RZ PROJECT DATE 2021-05-03 DRAWN BY Author CHECKED BY CHECKED BY Checker SCALE As indicated	ASSOCIATION ARCHITECTS 2 ARCHITECTS 2 LICENCE
	DRAWING NO. REV.





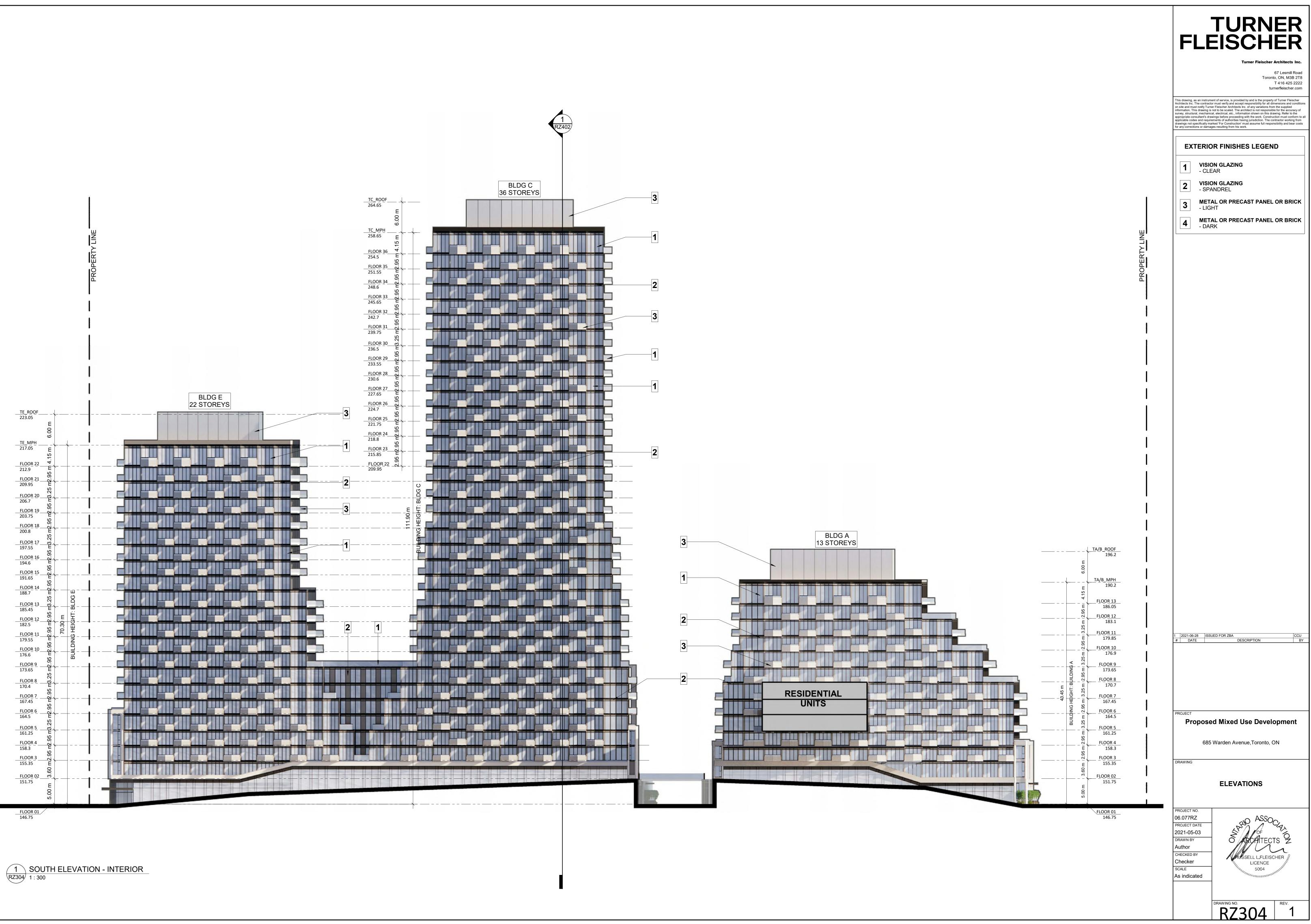


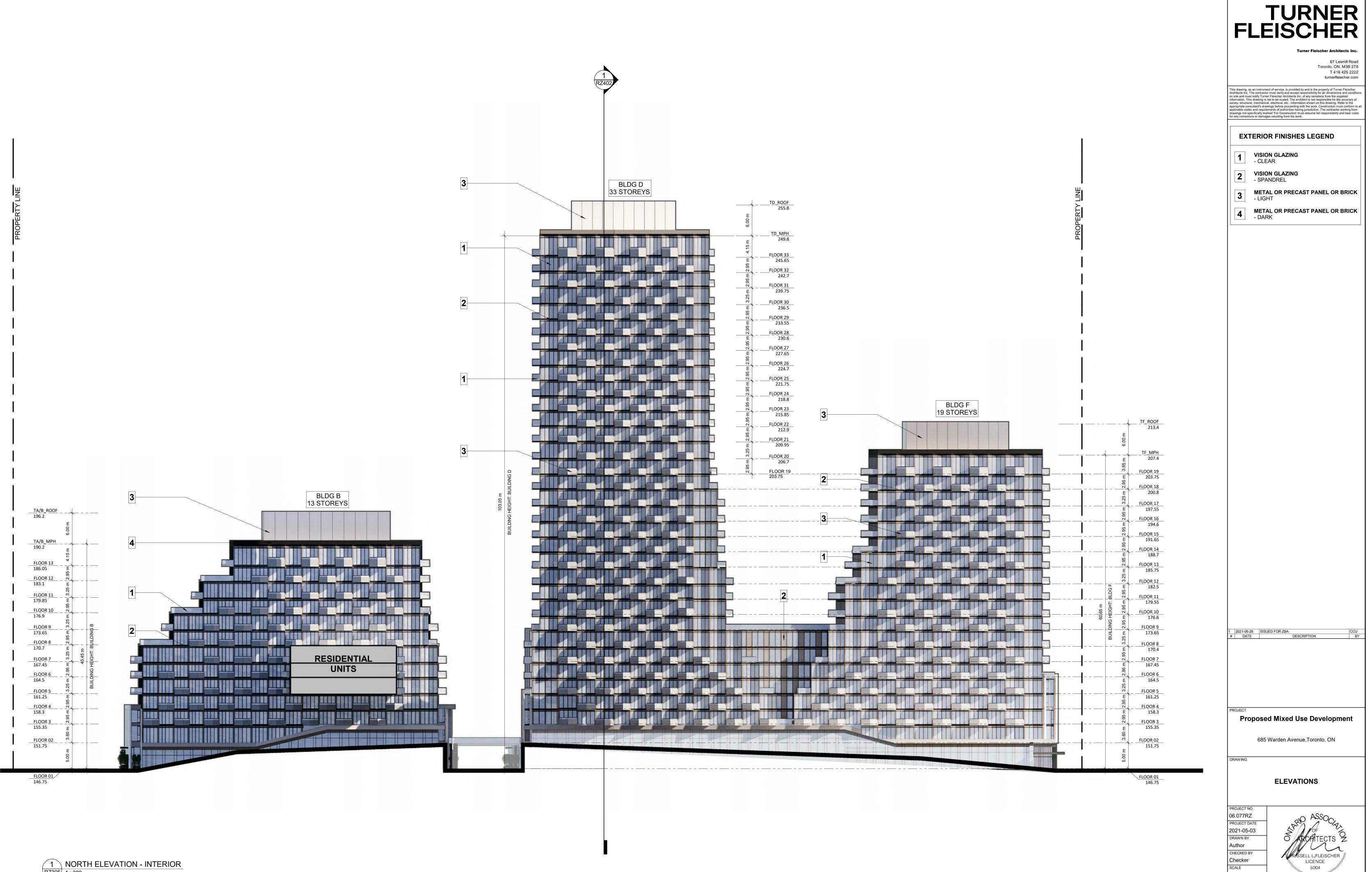












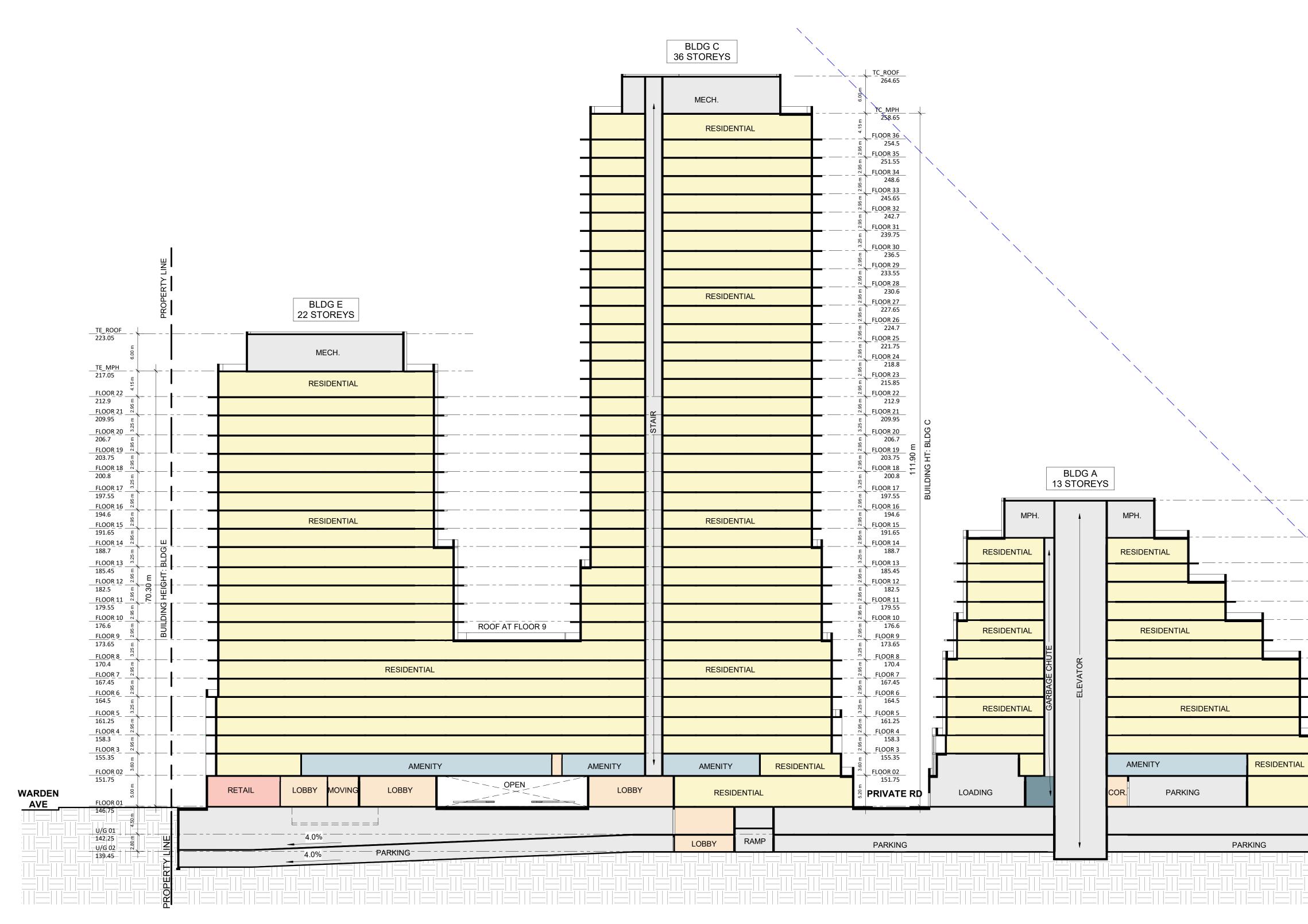
1 NORTH ELEVATION - INTERIOR RZ305/1:300

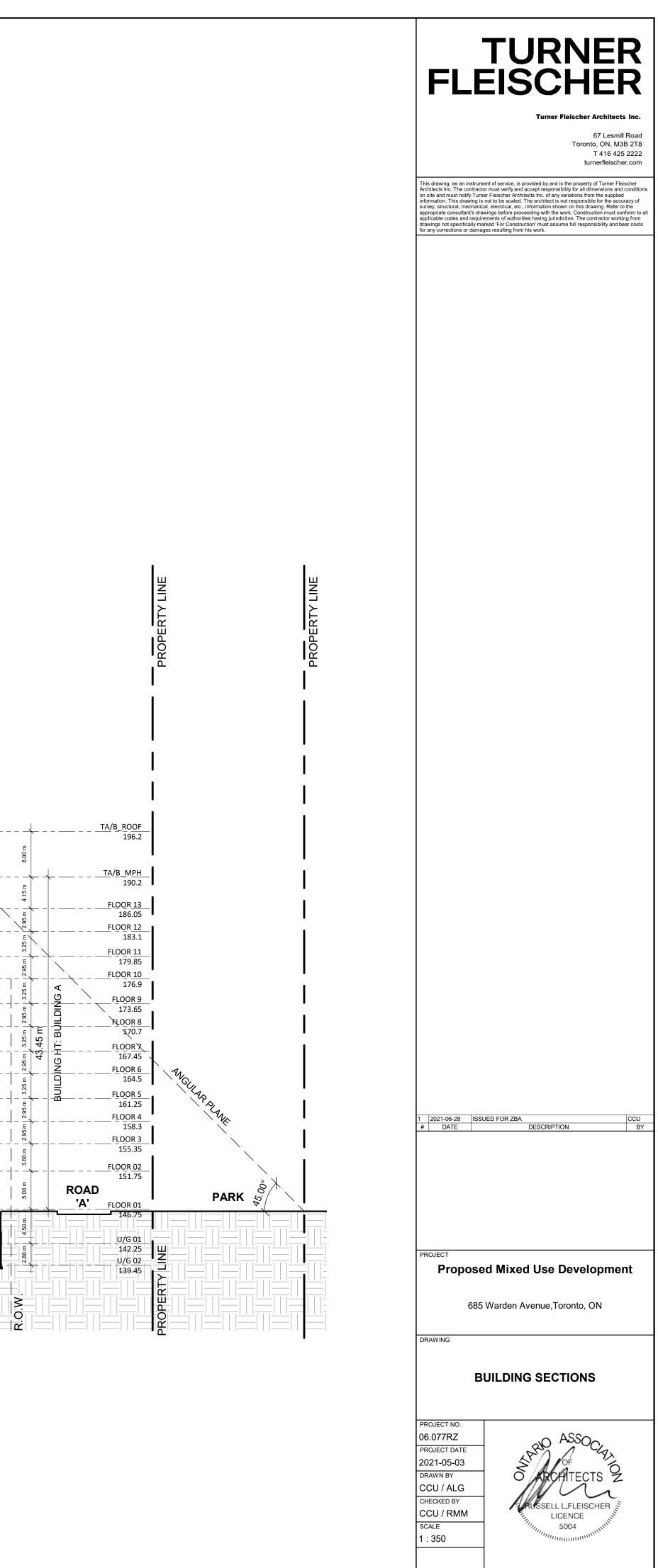
As indicated RZ305

SCALE

1

1 SECTION A RZ401 1:350

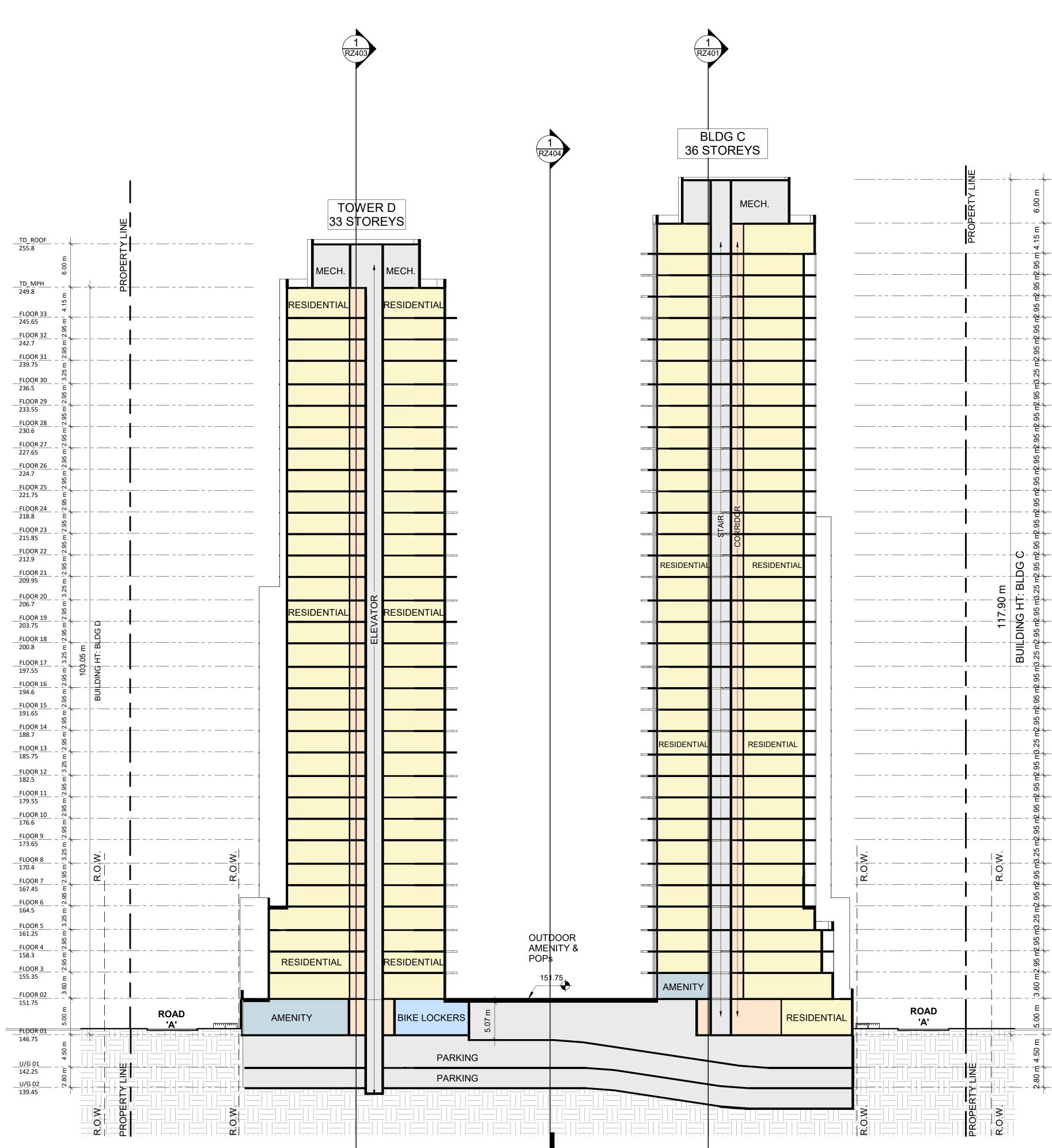




RZ401

REV.

- ____ - ___ - ___ - ___ -_____ - ___ _ _ _ _ _ _ _ _ _ _ - ____ - ___ _ _ _ _ _ ____



Turner Fleischer Architects Inc.

TURNER FLEISCHER

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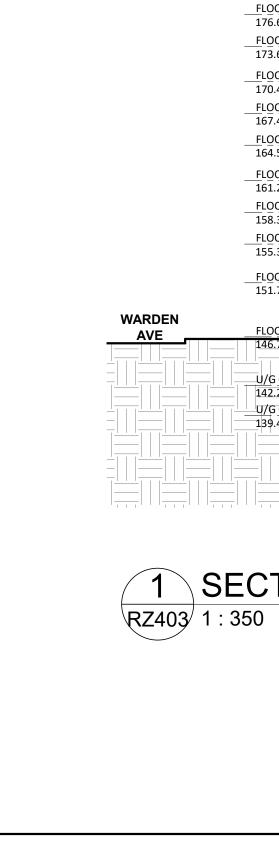
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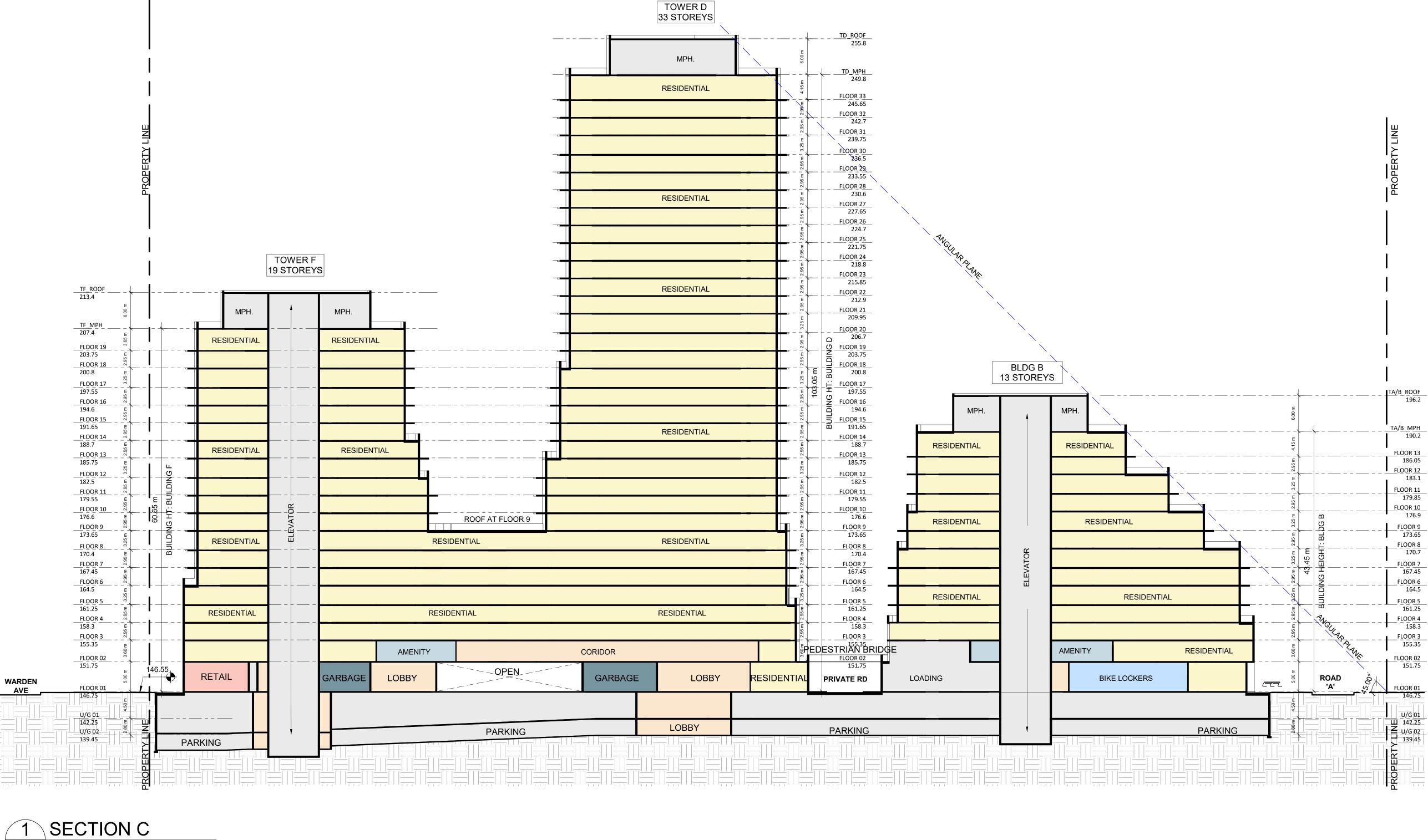
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 2021-06-28
 ISSUED FOR ZBA

 #
 DATE
 DESCRIPTION
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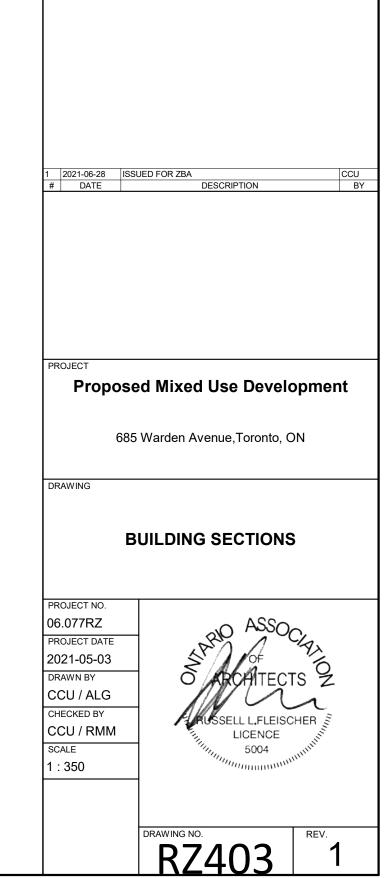
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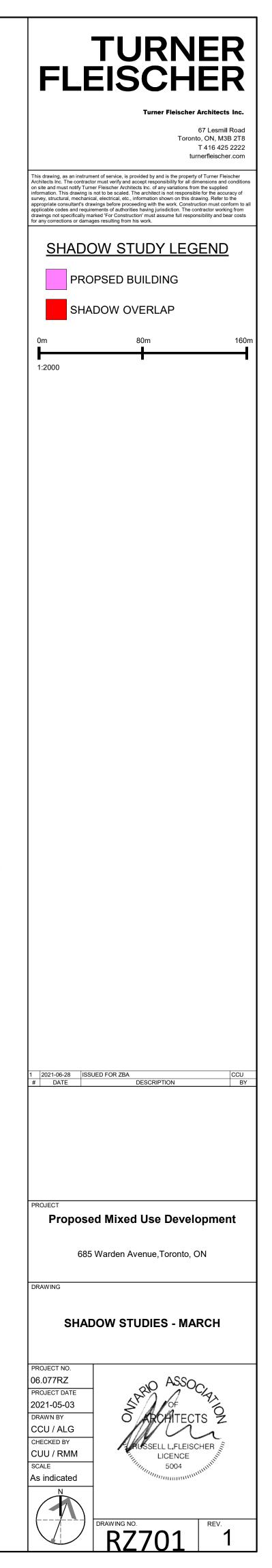


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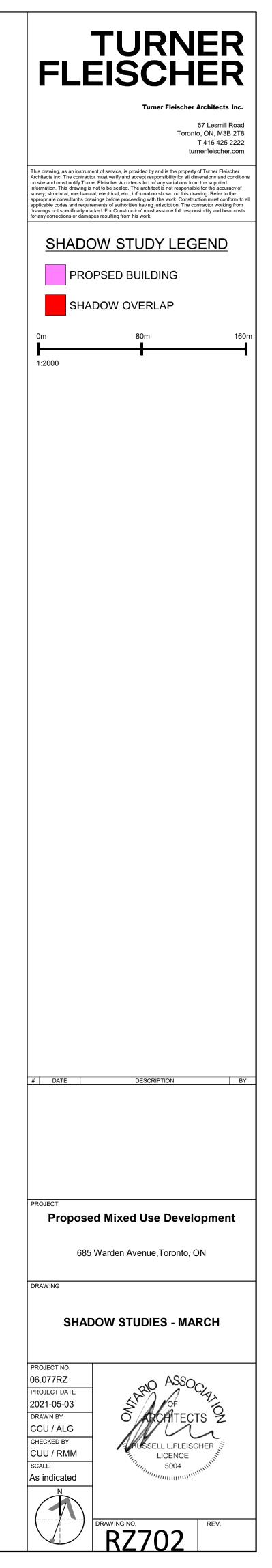
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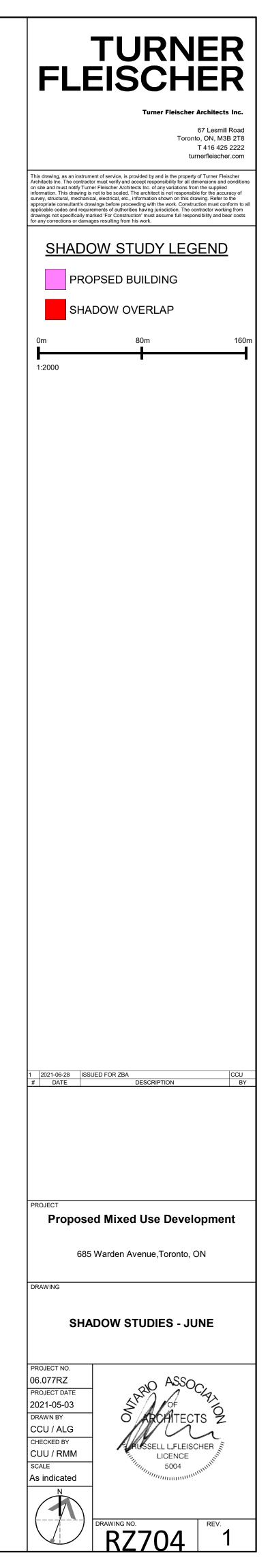


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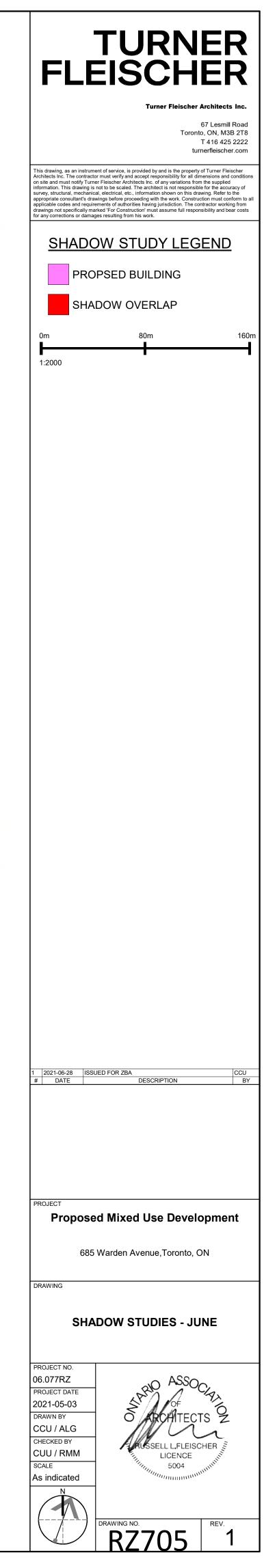


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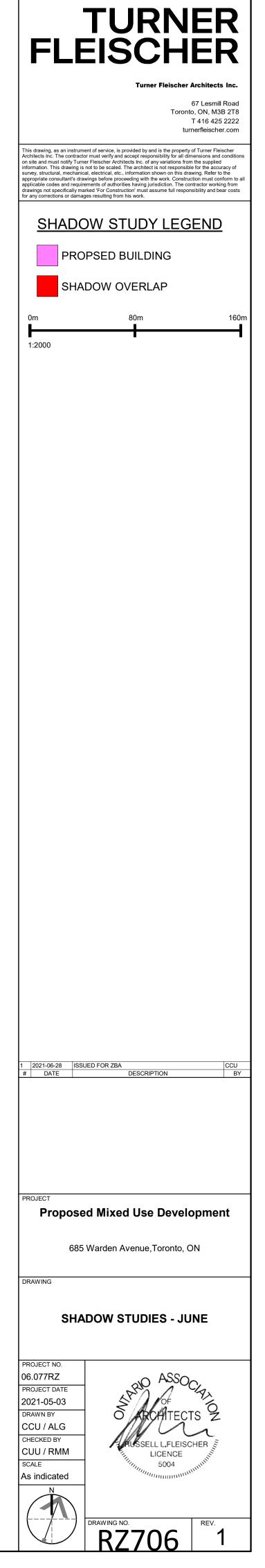




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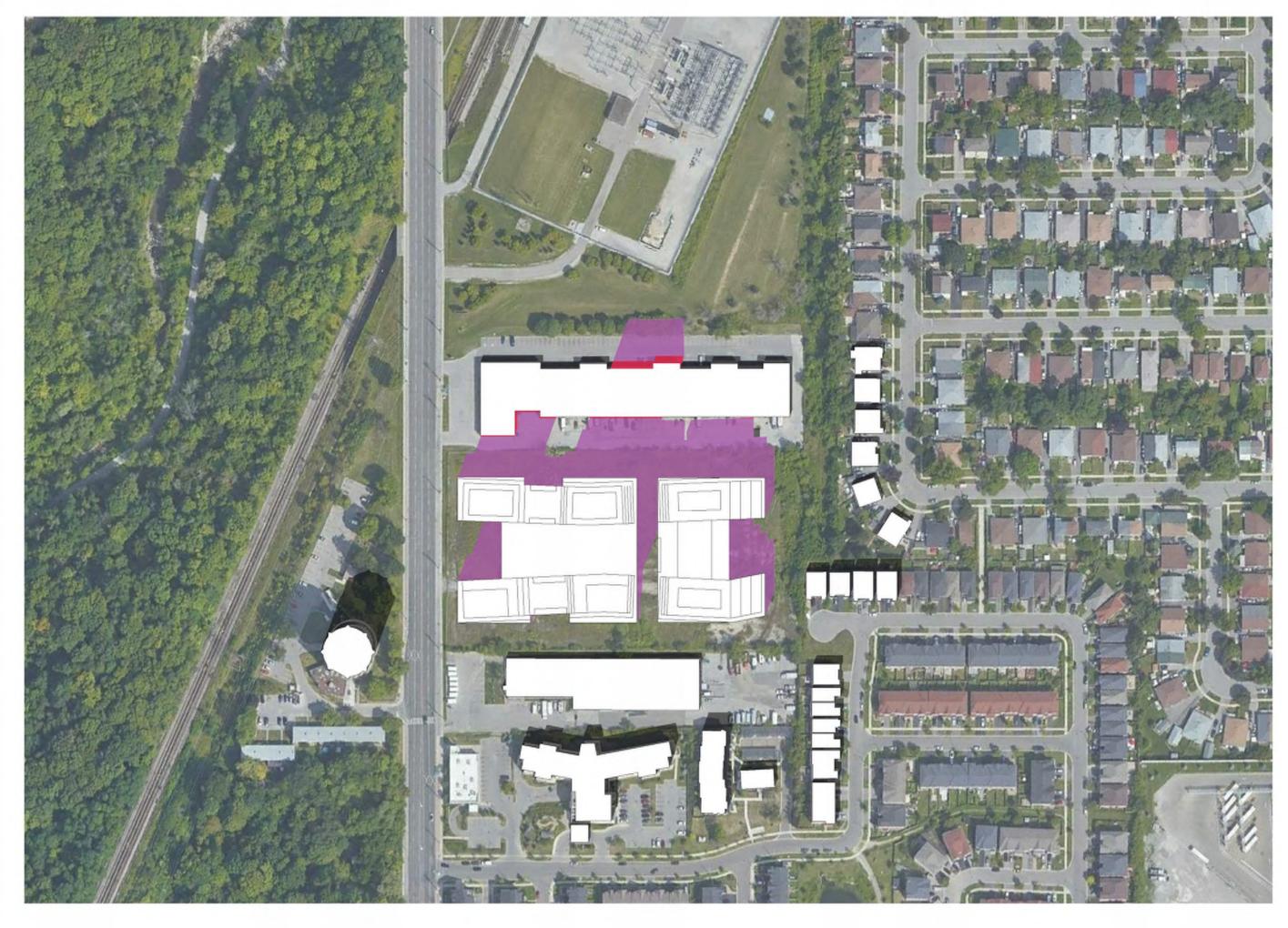


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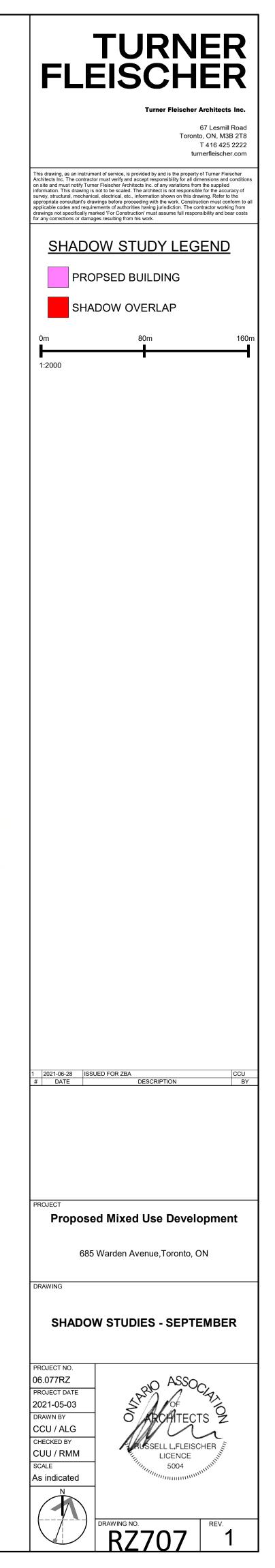


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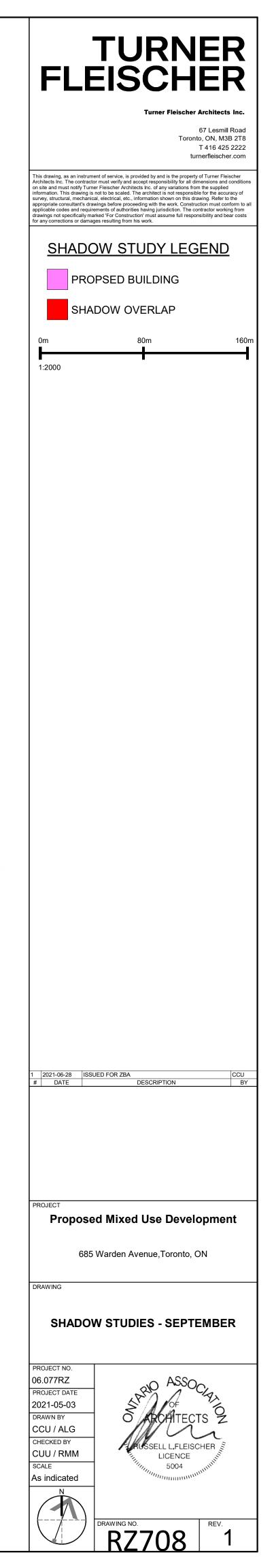


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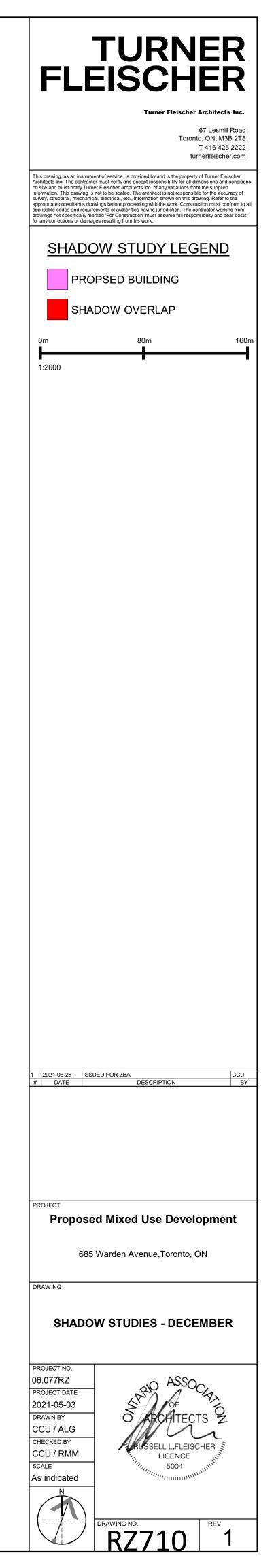


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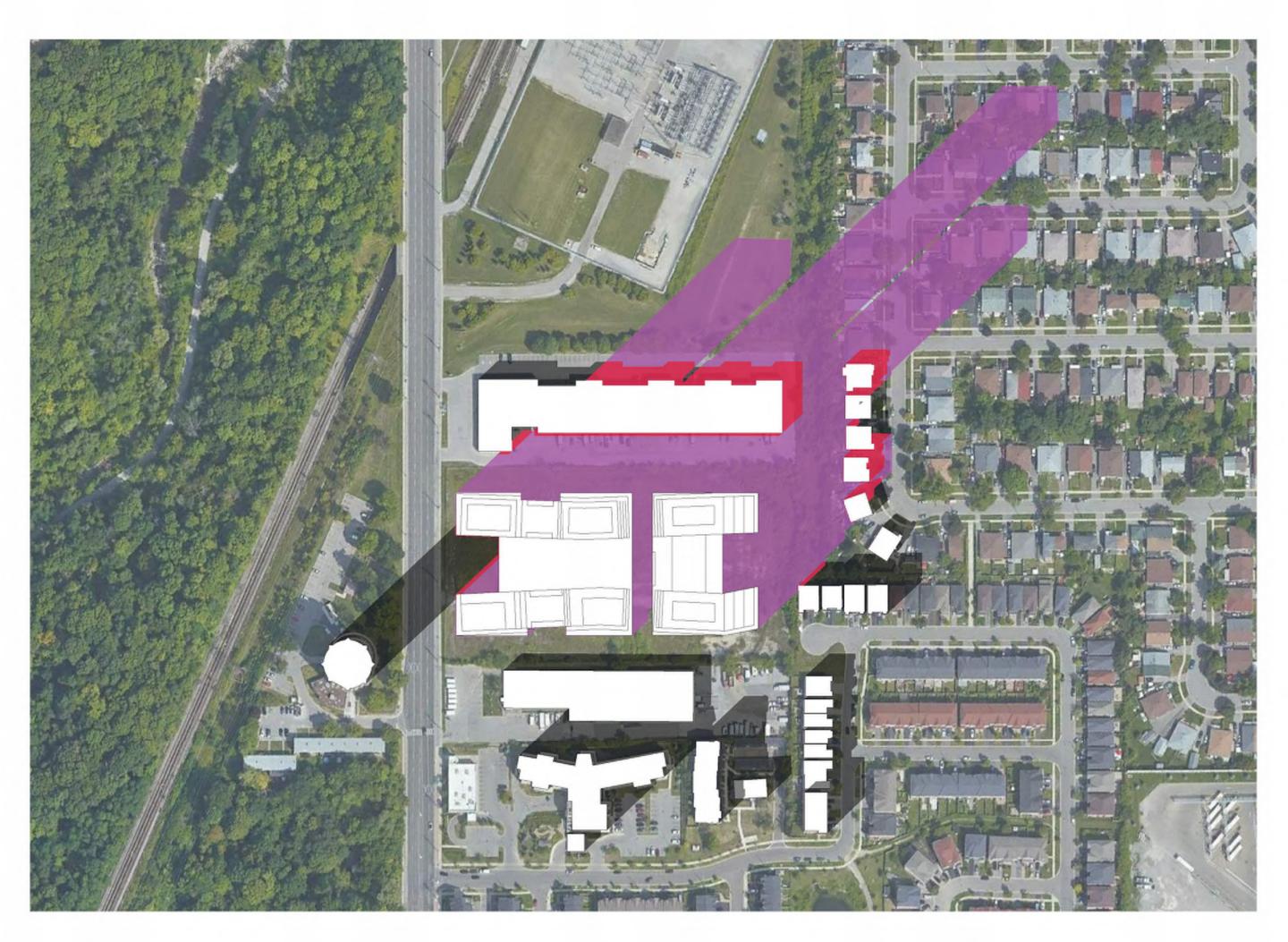




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STREET VIEW LOOKING EAST





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 #
 DATE
 DESCRIPTION

PROJECT

Proposed Mixed Use Development

685 Warden Avenue,Toronto, ON

RAWING

3D PERSPECTIVES

RZ801

PROJECT NO. 06.077RZ PROJECT DATE 2021-05-03 DRAWN BY CCU / ALG CHECKED BY CCU / RMM SCALE



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STREET VIEW LOOKING EAST



STREET VIEW LOOKING WEST FROM PARK



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DESCRIPTION

Proposed Mixed Use Development

685 Warden Avenue,Toronto, ON

RAWING

DATE

3D PERSPECTIVES

DRAWING NO.

PROJECT NO. 06.077RZ PROJECT DATE 2021-05-03 DRAWN BY CCU / ALG CHECKED BY CCU / RMM SCALE



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