

Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

06.077RZ



**TURNER
FLEISCHER**

67 Lesmill Rd
Toronto, ON, M3B 2T8
Contact Name: Raza Mehdi
Phone Number: 416-425-2222 ext. 311
Email: first.last@turnerfleischer.com

**ISSUED FOR ZBA
JUNE 28 2021**



BOUSFIELDS INC.
URBAN PLANNER:

Bousfields Inc.
#200 - 3 Church Street
Toronto, ON M5E 1M2
Telephone: 416-947-9744
Contact: Michael Bissett

dtah
LANDSCAPE ARCHITECT:

DTAH
50 Park Road
Toronto, ON M4W 2N5
Telephone: 416-968-9479
Contact: James Roche

BA Group
TRAFFIC CONSULTANT:

BA Consulting Group Ltd.
45 St Clair Avenue West
Toronto, ON M4V 1K9
Telephone: 416-961-7110
Contact: Alun S. Lloyd

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GROSS FLOOR AREA BREAKDOWN																			TOTAL GROSS FLOOR AREA [GFA] (TFA - EXCLUSIONS)		AREA EXCLUSIONS		TOTAL FLOOR AREA (NO EXCLUSIONS)	
FLOOR	# OF FLOORS	# OF UNITS	RETAIL		RETAIL SERVICE		TOTAL NON-RESIDENTIAL		RESIDENTIAL SALEABLE		NON-SALEABLE		TOTAL RESIDENTIAL											
		#	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²				
U/G 2											47.2	508	47.2	508	47.2	508	14,892.0	160,296	14,939.2	160,804				
U/G 1											47.2	508	47.2	508	47.2	508	15,203.8	163,943	15,278.0	164,451				
1	6		460.5		19.7		480.2	5,169	471.6	5,076	3,040.8	32,731	3,512.4	37,807	3,992.6	42,976	212.1	2,283	4,338.9	46,704				
2	11								941.1	10,130	243.1	2,617	1,184.2	12,747	1,184.2	12,747		465	2,323.2	25,807				
3	27								2,108.4	22,695	151.8	1,634	2,260.2	24,329	2,260.2	24,329		465	2,303.4	24,794				
4	27								2,108.4	22,695	151.8	1,634	2,260.2	24,329	2,260.2	24,329		465	2,303.4	24,794				
5	27								1,989.8	21,418	151.9	1,635	2,141.7	23,053	2,141.7	23,053		465	2,184.9	23,518				
6	26								1,844.8	19,857	151.8	1,634	1,996.6	21,491	1,996.6	21,491		465	2,039.8	21,956				
7	26								1,844.8	19,857	151.8	1,634	1,996.6	21,491	1,996.6	21,491		465	2,039.8	21,956				
8	12								1,789.7	19,264	151.8	1,634	1,941.5	20,898	1,941.5	20,898		465	1,984.7	21,364				
9	12								737.4	7,937	49.8	536	787.2	8,473	787.2	8,473		465	830.4	8,938				
10	12								737.4	7,937	49.8	536	787.2	8,473	787.2	8,473		465	830.4	8,938				
11	12								737.4	7,937	49.8	536	787.2	8,473	787.2	8,473		465	830.4	8,938				
12	12								737.4	7,937	49.8	536	787.2	8,473	787.2	8,473		465	830.4	8,938				
13	11								708.0	7,621	49.2	530	757.2	8,150	757.2	8,150		463	800.2	8,613				
14	11								675.1	7,245	49.0	527	722.1	7,773	722.1	7,773		465	765.3	8,238				
15	11								675.1	7,245	49.0	527	722.1	7,773	722.1	7,773		465	765.3	8,238				
16	11								675.1	7,245	49.0	527	722.1	7,773	722.1	7,773		465	765.3	8,238				
17	11								675.1	7,245	49.0	527	722.1	7,773	722.1	7,773		465	765.3	8,238				
18	10								673.7	7,252	48.3	520	722.0	7,772	722.0	7,772		465	765.2	8,237				
19	10								673.7	7,252	48.3	520	722.0	7,772	722.0	7,772		465	765.2	8,237				
20	10								673.7	7,252	48.3	520	722.0	7,772	722.0	7,772		465	765.2	8,237				
21	10								673.7	7,252	48.3	520	722.0	7,772	722.0	7,772		465	765.2	8,237				
22	10								673.7	7,252														

[illegible]

FLOOR	UNIT TYPE						TOTAL	AVERAGE UNIT SIZE	
	1B	1B+D	2B	2B+D	3B	3B+D		m²	ft²
1		3	2		1		6	78.60	846.0
2	2	2	2		5		11	85.55	920.8
3	3		11		4		27	78.09	840.55
4	3	9	11		4		27	78.09	840.55
5	5	10	6		6		27	73.70	793.30
6	9	7	5		5		26	70.95	763.70
7	9	7	5		5		26	70.95	763.70
8	10	7	8		2		27	66.20	713.54
9	6	2	4				12	61.45	661.44
10	6	2	4				12	61.45	661.44
11	6	2	4				12	61.45	661.44
12	6	2	4				12	61.45	661.44
13	6	1	4				11	64.36	692.77
14	6	2	3				11	61.19	658.64
15	6	2	3				11	61.19	658.64
16	6	2	3				11	61.19	658.64
17	6	2	3				11	61.19	658.64
18	3	3	4				10	67.37	725.16
19	3	3	4				10	67.37	725.16
20	3	3	4				10	67.37	725.16
21	3	3	4				10	67.37	725.16
22	3	3	4				10	67.37	725.16
23	3	3	4				10	67.37	725.16
24	3	3	4				10	67.37	725.16
25	3	3	4				10	67.37	725.16
26	3	3	4				10	67.37	725.16
27	3	3	4				10	67.37	725.16
28	3	3	4				10	67.37	725.16
29	3	3	4				10	67.37	725.16
30	3	3	4				10	67.37	725.16
31	3	3	4				10	67.37	725.16
32	3	3	4				10	67.37	725.16
33	3	3	4				10	67.37	725.16
34	3	3	4				10	67.37	725.16
35	3	3	4				10	67.37	725.16
36	3	3	4				10	67.37	725.16
SUBTOTAL	152	128	158		32		470	68.61	738.51
TOTAL UNITS	280		158		32				
UNIT MIX	59.6%		33.6%		6.8%		100.0%		

[illegible]

OUTDOOR AMENITY		INDOOR AMENITY	
m ²	ft ²	m ²	ft ²
REFER TO BUILDING C FOR OUTDOOR AMENITY		REFER TO BUILDING C FOR INDOOR AMENITY	

FLOOR	UNIT TYPE						TOTAL	AVERAGE UNIT SIZE	
	1B	1B+D	2B	2B+D	3B	3B+D		m ²	ft ²
1									
2									
3									
4									
5									
6									
7									
8									
9	6	1	4				11	66.07	711.17
10	6	1	4				11	66.07	711.17
11	6	1	4				11	66.07	711.17
12	6	1	4				11	66.07	711.17
13	5	2	4				10	66.07	711.17
14	5	1	4				10	66.02	710.63
15	5	1	4				10	66.02	710.63
16	5	1	4				10	66.02	710.63
17	5	1	4				10	66.02	710.63
18	6	1	3				10	66.02	710.63
19	6	1	3				10	66.02	710.63
20	6	1	3				10	66.02	710.63
21	6	1	3				10	66.02	710.63
22	6	1	3				10	66.02	710.63
SUBTOTAL	79	15	51				145		
TOTAL UNITS				51				66.04	710.85
UNIT MIX		64.8%		35.2%			100.0%		

N	DATE	DESCRIPTION	BY
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PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING

STATISTICS

PROJECT NO.	06.077RZ
PROJECT DATE	2021-05-03
DRAWN BY	Author
CHECKED BY	Checker
SCALE	



DRAWING NO.
RZ002

REV.

Turner Fleischer Architects Inc.

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pt responsibility for all dimensions and cond.
Inc. of any variations from the supplied
architect is not responsible for the accuracy of
ation shown on this drawing. Refer to the
with the work. Construction must conform to
aving jurisdiction. The contractor working from
must assume full responsibility and bear cost
work.

	FLOOR	UNIT TYPE						TOTAL	AVERAGE UNIT SIZE	
		1B	1B+D	2B	2B+D	3B	3B+D		m²	ft²
1			2				3	86.10	926.76	
2		3	4			6	13	83.99	904.06	
3		1	12	4		8	25	84.67	911.38	
4		1	12	4		8	25	84.67	911.38	
5		3	11	4		7	25	80.02	861.33	
6		6	9	3		3	24	77.08	829.68	
7		6	9	3		3	24	77.08	829.68	
8		11	8	4		3	26	68.54	737.76	
9		2	5	3		1	11	67.45	726.03	
10		2	5	3		1	11	67.45	726.03	
11		2	5	3		1	11	67.45	726.03	
12		2	5	3		1	11	67.45	726.03	
13		3	4	2		1	10	69.02	742.93	
14		3	4	2		1	10	69.02	742.93	
15		3	4	2		1	10	69.02	742.93	
16		3	4	2		1	10	69.02	742.93	
17		3	4	2		1	10	69.02	742.93	
18		4	2	4			10	66.00	710.42	
19		4	2	4			10	66.00	710.42	
20		4	2	4			10	66.00	710.42	
21		4	2	4			10	66.00	710.42	
22		4	2	4			10	66.00	710.42	
23		4	2	4			10	66.00	710.42	
24		4	2	4			10	66.00	710.42	
25		4	2	4			10	66.00	710.42	
26		4	2	4			10	66.00	710.42	
27		4	2	4			10	66.00	710.42	
28		4	2	4			10	66.00	710.42	
29		4	2	4			10	66.00	710.42	
30		4	2	4			10	66.00	710.42	
31		4	2	4			10	66.00	710.42	
32		4	2	4			10	66.00	710.42	
33		4	2	4			10	66.00	710.42	
SUBTOTAL		118	139	108	108	54	419	71.71	771.88	
TOTAL UNITS		61.3%		25.8%		12.9%	100.0%			

FLOOR	UNIT TYPE						TOTAL	AVERAGE UNIT SIZE	
	1B	1B+D	2B	2B+D	3B	3B+D		m²	ft²
1									
2									
3									
4									
5									
6									
7									
8									
9									
10									
11									
12									
13									
14									
15									
16									
17									
18									
19									
SUBTOTAL	60	16	42	42			118	64.40	693.20
TOTAL UNITS	64.4%			35.6%			100.0%		
UNIT MIX									

BUILDING F - 15 STOREYS

REFER TO BUILDING D FOR UNITS ON PODIUM FLOORS

BUILDINGS A-F	USE	RATIO (MIN.)	UNITS / G/A (m²)	SPACES (MIN.)
	VISITOR	N/A	1,519	-
	1B & 1B-D UNITS	1.00 / UNIT	928	928
	2B & 2B-D UNITS	1.00 / UNIT	452	452
	1B UNITS	1.00 / UNIT	139	139
	TOTAL RESIDENTIAL			1519
	RETAIL	2.0 SPACES / 100 M2	993	29
TOTAL REQUIRED			1548	

BUILDING A&B	TYPE		REQUIRED			PROVIDED			
		RATIO	m2	R1		RATIO	m2	R2	
	INDOOR AMENITY	2.0 m2/ UNIT	734.0	7,901		2.0 m2 / UNIT	734.0	7,901	
	OUTDOOR AMENITY	TOTAL AMENITY REQUIRED MINUS THE INDOOR AMENITY PROVIDED (NO LESS THAN 40m2)					2.0 m2 / UNIT	741.0	7,976
	TOTAL AMENITY	4.0 m2/ UNIT	1,468.0	15,802		4.0 m2 / UNIT	1,475.0	15,877	
BUILDING C-F	TYPE		REQUIRED			PROVIDED			
		RATIO	m2	R1		RATIO	m2	R2	
	INDOOR AMENITY	2.0 m2/ UNIT	2,304.0	24,800		2.0 m2 / UNIT	2,304.0	24,800	
	OUTDOOR AMENITY	TOTAL AMENITY REQUIRED MINUS THE INDOOR AMENITY PROVIDED (NO LESS THAN 40m2)					2.0 m2 / UNIT	2,309.0	24,854
	TOTAL AMENITY	4.0 m2/ UNIT	4,608.0	49,601		4.0 m2 / UNIT	4,613.0	49,654	
	GRAND TOTAL					4.0 m2 / UNIT	6,088.0	65,531	

BUILDING A-F	RESIDENTIAL				TOTAL
	FLOOR	SHORT TERM	LONG TERM	SUB-TOTAL	
FLOOR 1	152	976	1,128	1,128	
U/G LEVEL 1		217	217	217	
U/G LEVEL 2		176	176	176	
TOTAL PROVIDED	152	1,369	1,521	1,521	

UNIT MIX - PROVIDED							
BUILDING	UNIT TYPE						TOTAL
	1B	1B+D	2B	3B	3B+D		
	500-458	648-699	700-999	1000-1500			
A	91	39	46	2	20		198
	46.0%	19.7%	23.2%	1.0%	10.1%		100%
B	60	31	44	1	33		169
	35.5%	18.3%	26.0%	0.6%	19.5%		100%
C	152	128	158		32		470
	32.3%	27.2%	33.6%		6.8%		100%
E	79	15	51				145
	54.48%	10.34%	35.17%				100%
D	118	139	108		54		419
	28.2%	33.2%	25.8%		12.9%		100%
F	60	16	42				118
	50.8%	13.6%	35.6%				100%
TOTAL	560	368	449	3	139		1,519
	36.9%	24.2%	29.6%	0.2%	9.2%		100%
	61.1%		29.8%		9.2%		

BUILDING A-F	FLOOR	SPACES	TOTAL
	FLOOR 01	1	1
	U/G 01	13	13
	U/G 02	9	9
TOTAL PROVIDED		23	

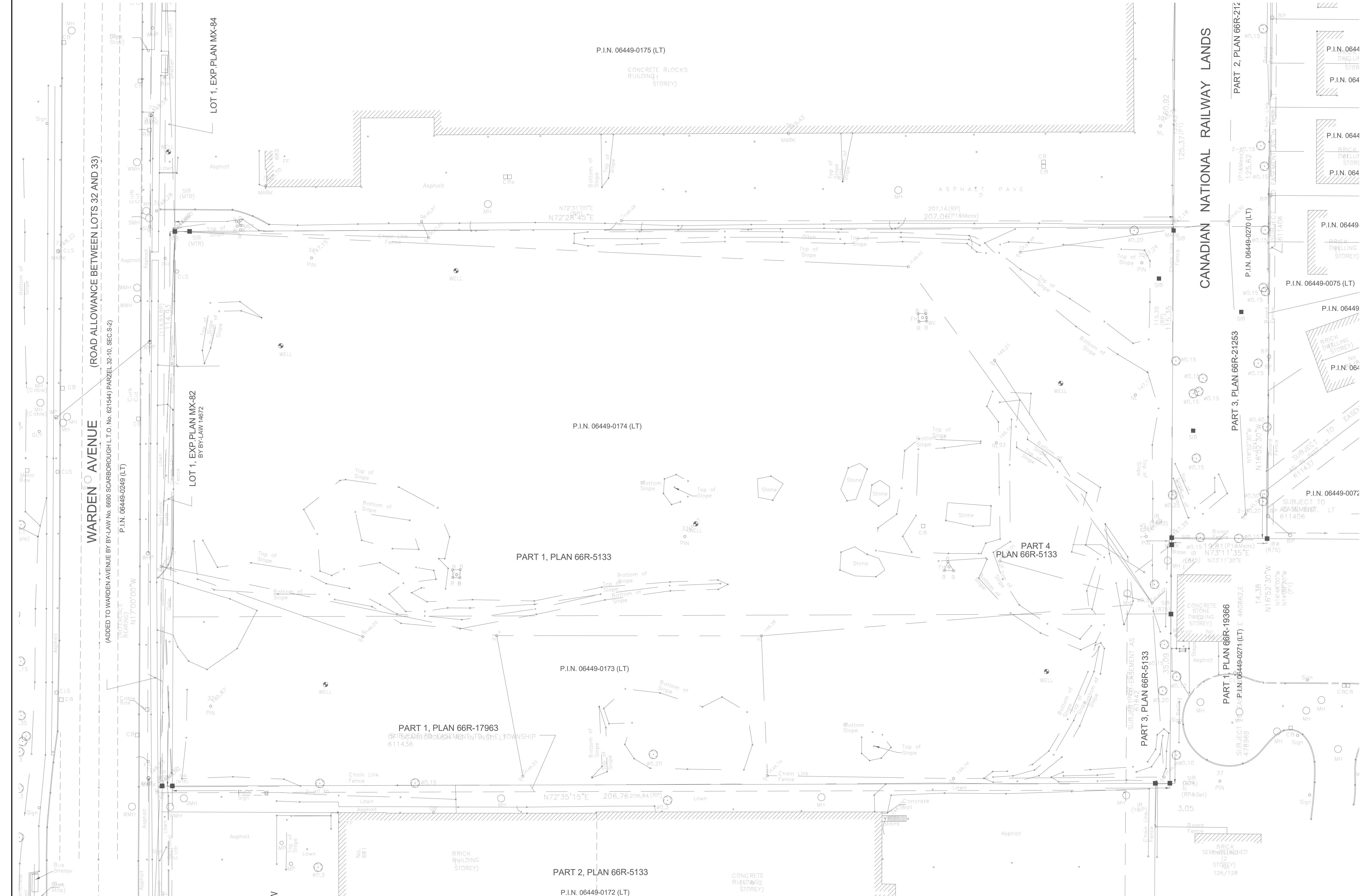
BUILDING A-F	UNIT TYPE	MINIMUM AREA		UNIT TYPE PERCENTAGE
		m ²	ft ²	
	2B	87	936	15%
	3B	100	1,076	10%

BUILDING A.#	UNIT TYPE	MINIMUM AREA		MAXIMUM AREA		AVERAGE AREA		UNIT TYPE PERCENTAGE	TOTAL UNITS	TOTAL UNITS BY UNIT TYPE PERCENTAGE
		m²	ft²	m²	ft²	m²	ft²			
28	59.1	636.1	92.7	997.8	75.9	817.0	9.8%	452	117	
38	86.2	927.8	225.5	2,427.3	155.9	1,678.1	2.9%	139	79	

*UNIT SIZE: FLOOR AREA IS MEASURED FROM THE EXTERIOR FACE OF EXTERIOR WALLS AND MIDDLE OF DEMISING WALLS PER TARIOM

12005

2021-06-25 4:53:23 PM



1

SURVEY

RZ004

1:350

TURNER
FLEISCHER

Turner Fleischer Architects Inc.
67 Lesmill Road
Toronto, ON, M5B 2T8
T 416 425 2222
turnerfleischer.com

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The site plan prepared by Turner Fleischer is subject to a legal survey showing the boundaries of the lands together with the current location of any existing buildings, features or encroachment prepared by SNO, and OSU Ltd. as provided by Ontario Properties.

1	2021-06-28	ISSUED FOR ZBA	CCU
#	DATE	DESCRIPTION	BY

PROJECT

Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING

SURVEY

PROJECT NO.
06.077RZ
PROJECT DATE
2021-05-03
DRAWN BY
CCU / ALG
CHECKED BY
CCU / RMM
SCALE
1:350

ONTARIO ASSOCIATION
OF
ARCHITECTS

RUSSELL FLEISCHER

LICENCE
5004

DRAWING NO.
RZ004

REV.
1



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1	2021-06-28	ISSUED FOR ZBA		CCU
#	DATE	DESCRIPTION		BY

PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWINGS

CONTEXT PLAN



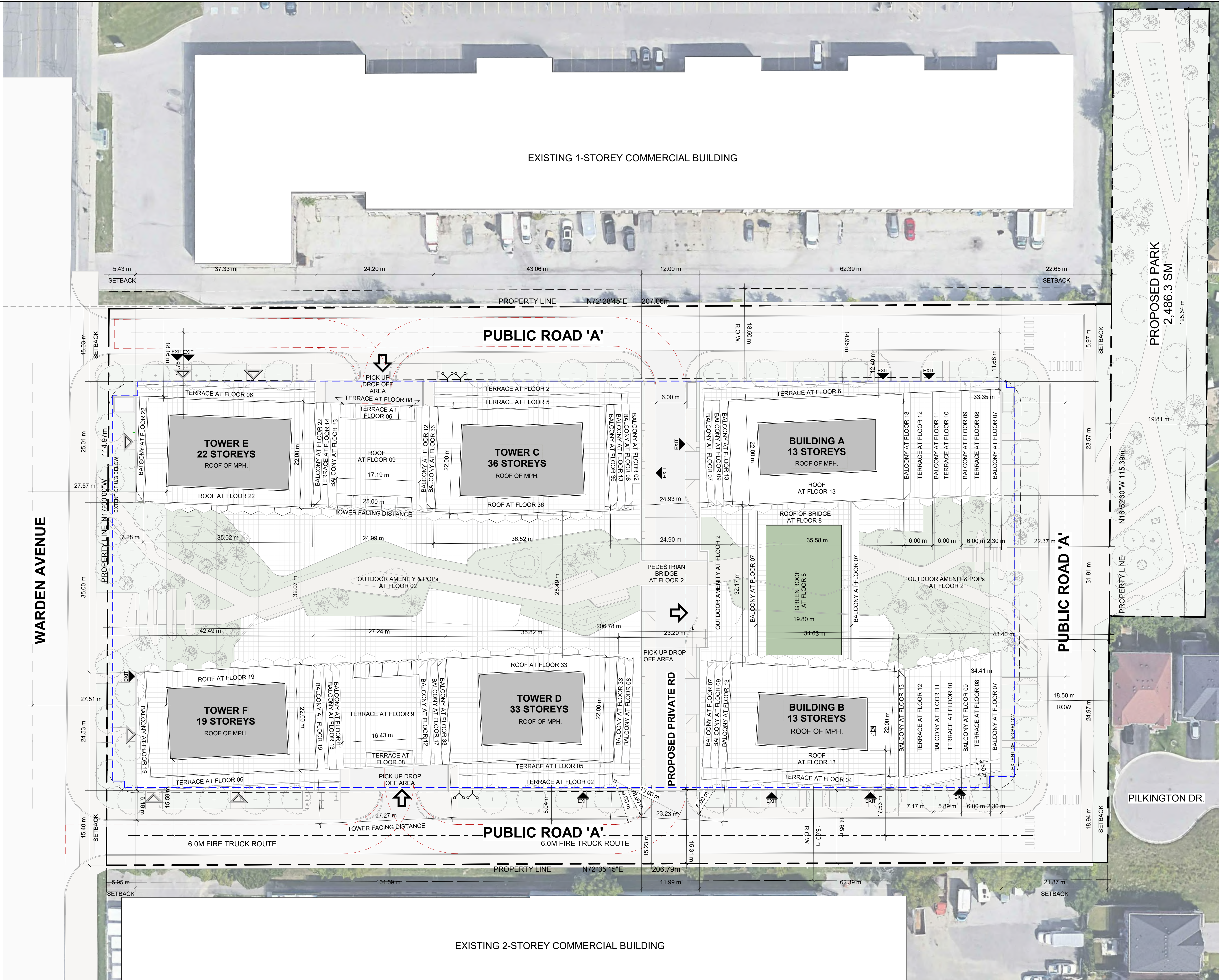


#	DATE	DESCRIPTION	BY
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PROJECT	Proposed Mixed Use Development 685 Warden Avenue, Toronto, ON
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DRAWINGS	BLOCK PLAN
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PROJECT NO. 06.077RZ	
PROJECT DATE 2021-05-03	
DRAWN BY CCU / ALG	
CHECKED BY CCU / RMM	
SCALE 1 : 1700	
DRAWING NO. RZ006	
REV.	



TURNER FLEISCHER

Turner Fleischer Architects Inc.

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T 416 425 2222
turnerfleischer.com

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LEGEND

↑

PRIMARY RESIDENTIAL ENTRANCE

△

SECONDARY RESIDENTIAL ENTRANCE

△

RETAIL ENTRANCE

EXIT

EXIT

⊙^{FH}

FIRE HYDRANT

⋈

SIAMESE CONNECTION

◇

CONVEX MIRROR

⊠

TRANSFORMER WITH CLEARANCES

⊙

FIRE ROUTE SIGN

0.000.00

SPOT ELEVATION

⊙

GAS/HYDRO METER

12021-06-28

ISSUED FOR ZBA

CCU

BY

PROJECT

Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING

SITE PLAN / ROOF PLAN

PROJECT NO.
06.077RZ

PROJECT DATE
2021-05-03

DRAWN BY
CCU / ALG

CHECKED BY
CCU / RMM

SCALE
As indicated

ONTARIO ASSOCIATION OF ARCHITECTS

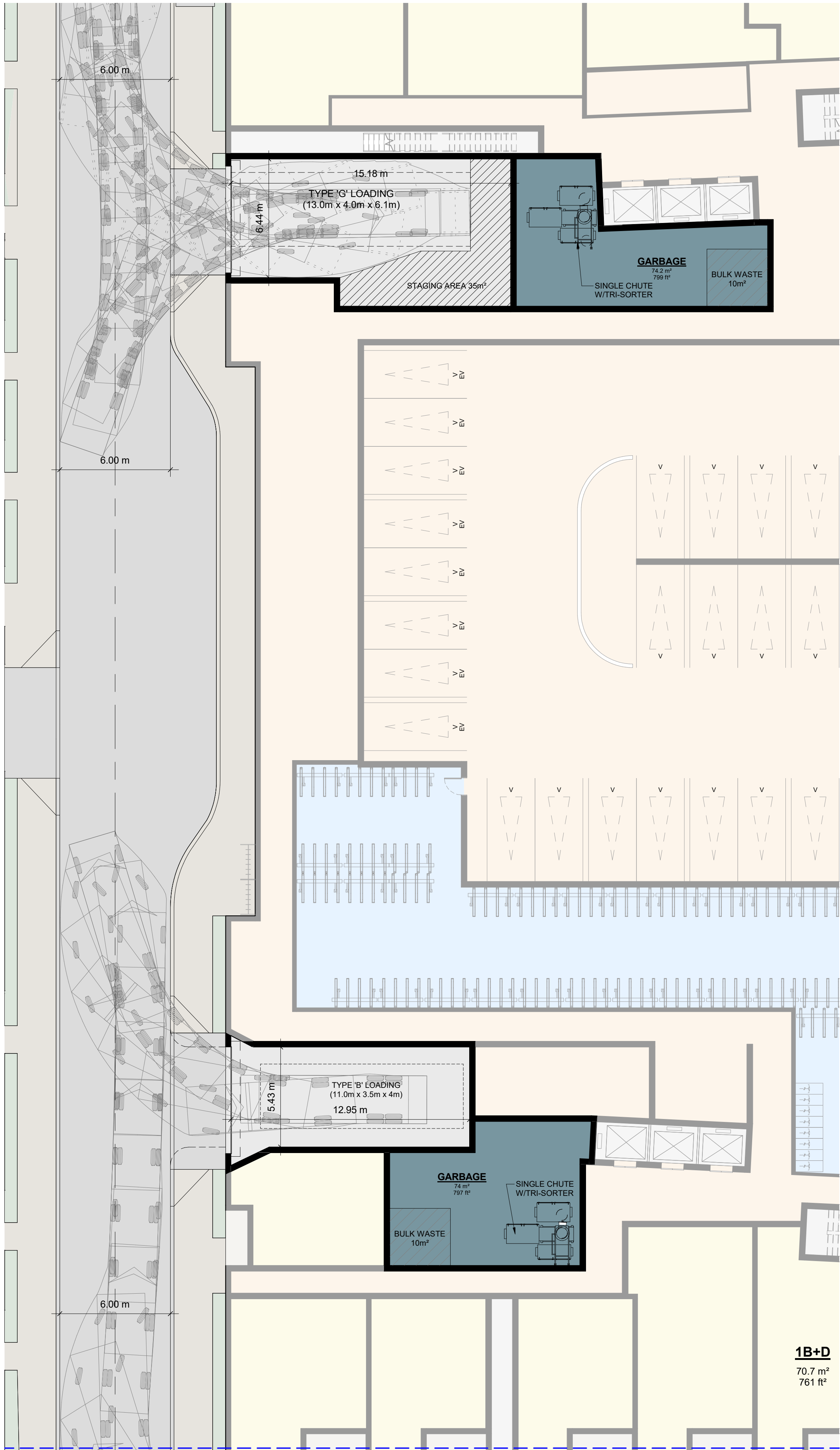
RUSSELL L. FLEISCHER

LICENCE 5004

REV. 1

RZ007

2021-06-25 4:53:38 PM



1 WASTE MANAGEMENT PLAN A&B
RZ008 1: 150

RESIDENTIAL TYPE 'G' LOADING - 13mx4m WITH 6.1m VERTICAL CLEARANCE:

NOTES:

1. ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (+/-8%), AT LEAST 4.5 METERS WIDE THROUGHOUT THE SITE AND 6 METERS WIDE AT ENTRANCES AND EXITS, AND WILL HAVE A MINIMUM OVERHEAD TRAVELING CLEARANCE OF 4.4 METERS INCLUDING WHEN TRAVELING THROUGH OVER HEAD DOORS.
2. THE TYPE G LOADING SPACE WILL BE CONSTRUCTED OF AT LEAST 200MM OF REINFORCED CONCRETE, BE LEVEL (+/-2%) AND BE AT LEAST 4 METERS WIDE, 13 METERS LONG AND HAVE A VERTICAL CLEARANCE OF 6.1 METERS.
3. A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANEUVER BIN FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAG MAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
4. SHARING OF TYPE G LOADING SPACE - RESIDENTIAL USE OF LOADING SPACE FOR PURPOSES OF MOVING WILL BE SCHEDULED ACCORDING TO GARBAGE PICK UP TIMES. SHOULD THE TYPE G SPACE BE NEEDED FOR USE BY COMMERCIAL SECTORS, THE COMMERCIAL COMPONENT MUST ARRANGE THIS USE SUCH THAT IT DOES NOT CONFLICT WITH ANY RESIDENTIAL USES.
5. BEFORE SOLD WASTE COLLECTION SERVICES ARE TO BEGIN, THE CITY WILL NEED TO BE PROVIDED WITH A LETTER CERTIFIED BY A PROFESSIONAL ENGINEER THAT IN ALL CASES WHERE A COLLECTION VEHICLE IS REQUIRED TO DRIVE ONTO OR OVER A SUPPORTED STRUCTURE AND THE STRUCTURE CAN SAFELY SUPPORT A FULLY LOADED COLLECTION VEHICLE (35,000 KILOGRAMS) AND CONFORMS TO THE FOLLOWING:
 - i. DESIGN CODE- ONTARIO BUILDING CODE.
 - ii. DESIGN LOAD- CITY BULK LIFT VEHICLE IN ADDITION BUILDING CODE REQUIREMENTS.
 - iii. IMPACT FACTOR- 5% FOR MAXIMUM VEHICULAR SPEEDS TO 15 KM/H AND 30% FOR HIGHER SPEEDS

REQUIRED

SOLID WASTE MANAGEMENT PLAN REQUIRED:
25m² FOR THE FIRST 50 UNITS PLUS AN ADDITIONAL 13m² FOR EACH ADDITIONAL 50 UNITS AND MINIMUM OF 10m² FOR BULKY ITEMS.
STAGING AREA REQUIRED:
5m² REQUIRED PER 50 UNITS

BUILDING A REQUIRED
NUMBER OF UNITS = 198

= 198 - 50
= 148 / 50
= 3 x 13m²
= 39 + 25
= 64 + 10m² BULKY ITEMS

TOTAL 74m² WASTE STORAGE ROOM SIZE REQUIRED
STAGING AREA REQUIRED: @ 198 UNITS, 20m² MINIMUM REQUIRED

PROVIDED

SOLID WASTE MANAGEMENT PLAN PROVIDED:
81.2m² WASTE STORAGE ROOM SIZE PROVIDED

STAGING AREA PROVIDED:
35m² STAGING AREA PROVIDED FOR BOTH TOWERS A&B

BUILDING B REQUIRED
NUMBER OF UNITS = 169

= 169 - 50
= 119 / 50
= 3 x 13m²
= 39 + 25
64 + 10m² BULKY ITEMS

TOTAL 74m² WASTE STORAGE ROOM SIZE REQUIRED
STAGING AREA REQUIRED: @ 169 UNITS, 17m² MINIMUM REQUIRED

PROVIDED

SOLID WASTE MANAGEMENT PLAN PROVIDED:
68.9m² WASTE STORAGE ROOM SIZE PROVIDED

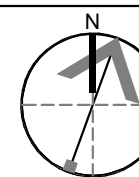
#	DATE	DESCRIPTION	BY
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PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING
**RESIDENTIAL SOLID WASTE
MANAGEMENT PLAN
(BUILDINGS A & B)**

PROJECT NO.
06.077RZ
PROJECT DATE
2021-05-03
DRAWN BY
CCU / ALG
CHECKED BY
CCU / RMM
SCALE
1 : 150



DRAWING NO.
RZ008
REV.

RESIDENTIAL TYPE 'G' LOADING - 13mx4m WITH 6.1m VERTICAL CLEARANCE:

- NOTES:
1. ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (+/-8%), AT LEAST 4.5 METERS WIDE THROUGHOUT THE SITE AND 6 METERS WIDE AT ENTRANCES AND EXITS, AND WILL HAVE A MINIMUM OVERHEAD TRAVELING CLEARANCE OF 4.4 METERS INCLUDING WHEN TRAVELING THROUGH OVER HEAD DOORS.
 2. THE TYPE G LOADING SPACE WILL BE CONSTRUCTED OF AT LEAST 200MM OF REINFORCED CONCRETE, BE LEVEL (+/-2%) AND BE AT LEAST 4 METERS WIDE, 13 METERS LONG AND HAVE A VERTICAL CLEARANCE OF 6.1 METERS.
 3. A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANEUVER BIN FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAG MAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
 4. SHARING OF TYPE G LOADING SPACE - RESIDENTIAL USE OF LOADING SPACE FOR PURPOSES OF MOVING WILL BE SCHEDULED ACCORDING TO GARBAGE PICK UP TIMES. SHOULD THE TYPE G SPACE BE NEEDED FOR USE BY COMMERCIAL SECTORS, THE COMMERCIAL COMPONENT MUST ARRANGE THIS USE SUCH THAT IT DOES NOT CONFLICT WITH ANY RESIDENTIAL USES.
 5. BEFORE SOLD WASTE COLLECTION SERVICES ARE TO BEGIN, THE CITY WILL NEED TO BE PROVIDED WITH A LETTER CERTIFIED BY A PROFESSIONAL ENGINEER THAT IN ALL CASES WHERE A COLLECTION VEHICLE IS REQUIRED TO DRIVE ONTO OR OVER A SUPPORTED STRUCTURE AND THE STRUCTURE CAN SAFELY SUPPORT A FULLY LOADED COLLECTION VEHICLE (35,000 KILOGRAMS) AND CONFORMS TO THE FOLLOWING:
 - i. DESIGN CODE- ONTARIO BUILDING CODE.
 - ii. DESIGN LOAD- CITY BULK LIFT VEHICLE IN ADDITION BUILDING CODE REQUIREMENTS.
 - iii. IMPACT FACTOR- 5% FOR MAXIMUM VEHICULAR SPEEDS TO 15 KM/H AND 30% FOR HIGHER SPEEDS

REQUIRED

SOLID WASTE MANAGEMENT PLAN REQUIRED:
25m² FOR THE FIRST 50 UNITS PLUS AN ADDITIONAL 13m² FOR EACH ADDITIONAL 50 UNITS AND MINIMUM OF 10m² FOR BULKY ITEMS.
STAGING AREA REQUIRED:
5m² REQUIRED PER 50 UNITS

BUILDING C REQUIRED
NUMBER OF UNITS = 470

= 470 - 50
= 420 / 50
= 9 x 13m²
= 117 + 25
= 142 + 10m² BULKY ITEMS

TOTAL 152m² WASTE STORAGE ROOM SIZE REQUIRED
STAGING AREA REQUIRED: @ 470 UNITS, 47m² MINIMUM REQUIRED

PROVIDED

SOLID WASTE MANAGEMENT PLAN PROVIDED:
152m² WASTE STORAGE ROOM SIZE PROVIDED

STAGING AREA PROVIDED:
62m² STAGING AREA PROVIDED FOR BUILDING C AND E COMBINED

BUILDING E REQUIRED
NUMBER OF UNITS = 145

= 145 - 50
= 95 / 50
= 2 x 13m²
= 26 + 25
= 51 + 10m² BULKY ITEMS

TOTAL 61m² WASTE STORAGE ROOM SIZE REQUIRED
STAGING AREA REQUIRED: @ 145 UNITS, 15m² MINIMUM REQUIRED

PROVIDED

SOLID WASTE MANAGEMENT PLAN PROVIDED:
65.9m² WASTE STORAGE ROOM SIZE PROVIDED

BUILDING D REQUIRED
NUMBER OF UNITS = 419

= 419 - 50
= 369 / 50
= 8 x 13m²
= 104 + 25
= 129 + 10m² BULKY ITEMS

TOTAL 139m² WASTE STORAGE ROOM SIZE REQUIRED
STAGING AREA REQUIRED: @ 419 UNITS, 42m² MINIMUM REQUIRED

PROVIDED

SOLID WASTE MANAGEMENT PLAN PROVIDED:
139m² WASTE STORAGE ROOM SIZE PROVIDED

STAGING AREA PROVIDED:
55m² STAGING AREA PROVIDED FOR BUILDINGS D AND E COMBINED

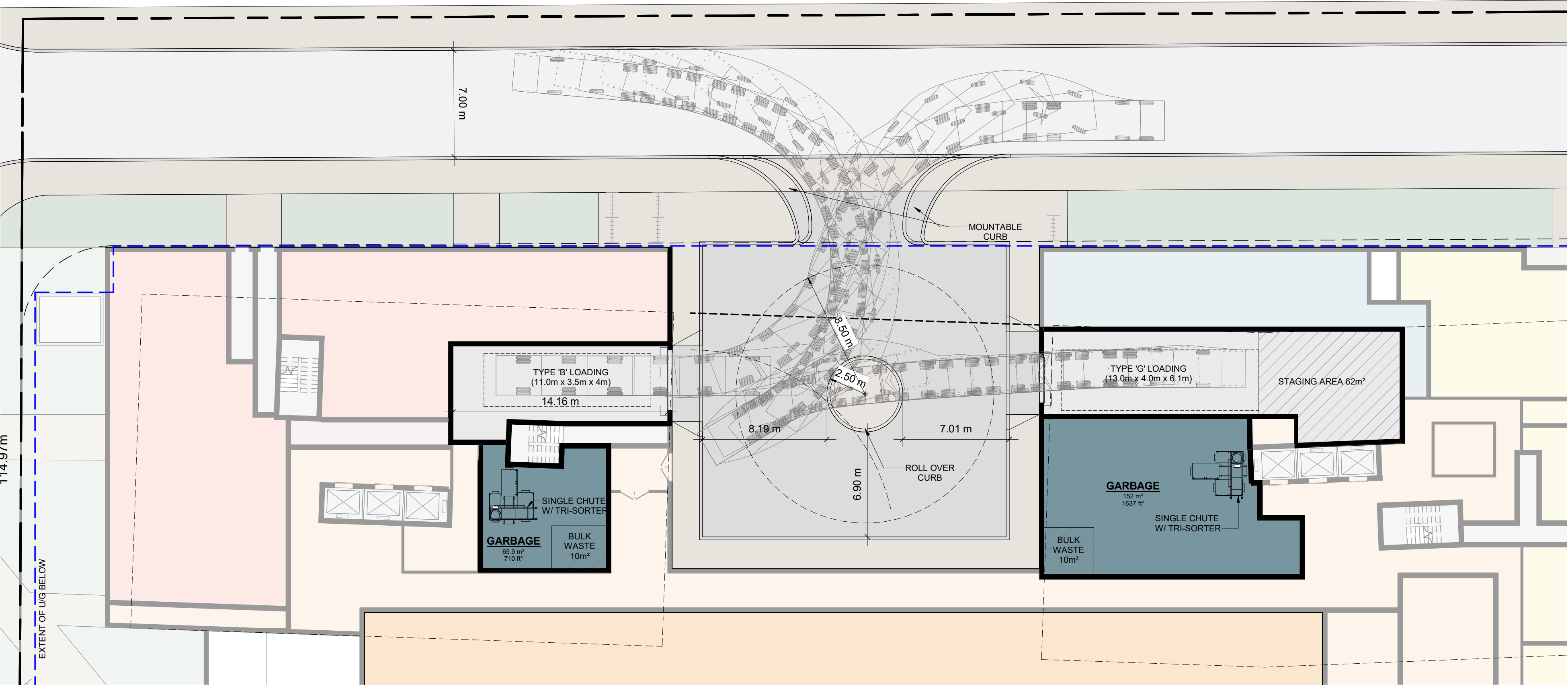
BUILDING F REQUIRED
NUMBER OF UNITS = 118

= 118 - 50
= 68 / 50
= 2 x 13m²
= 26 + 25
= 51 + 10m² BULKY ITEMS

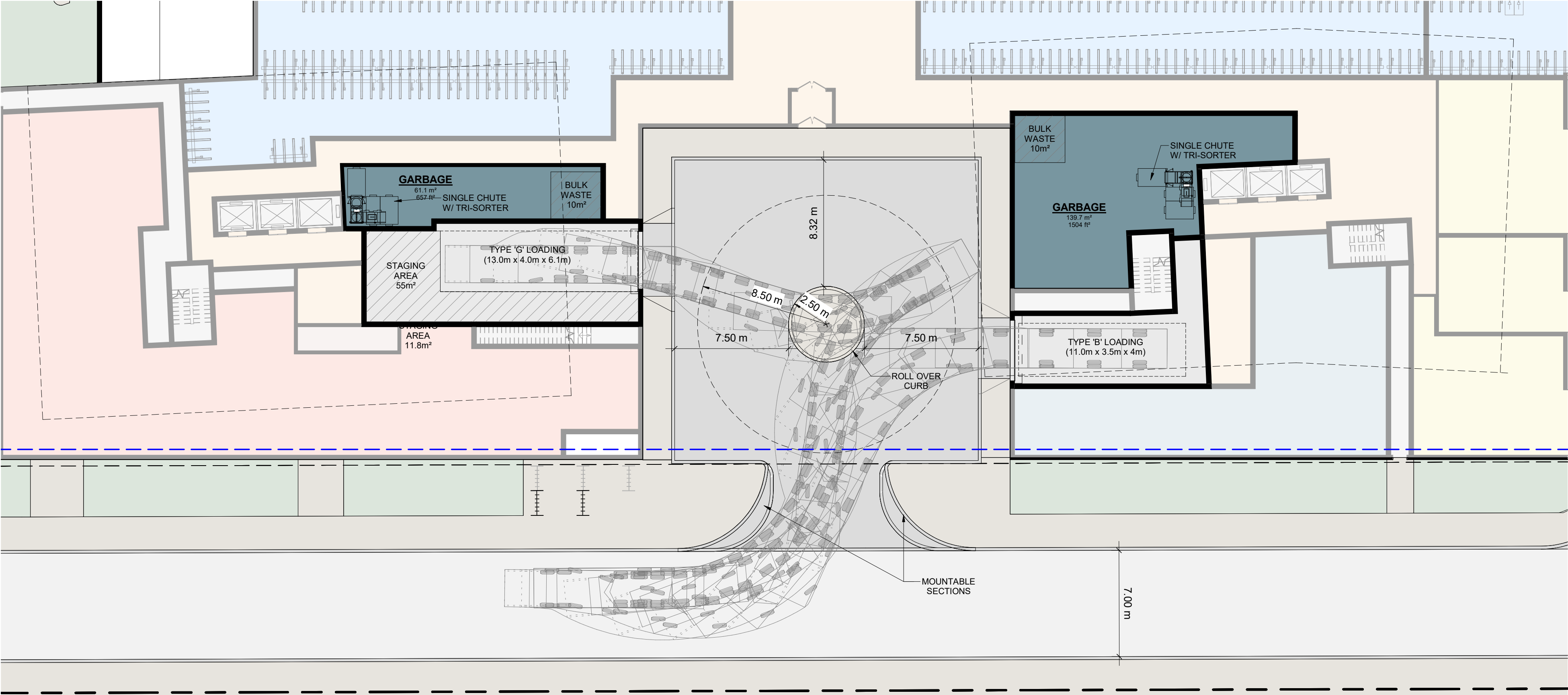
TOTAL 61m² WASTE STORAGE ROOM SIZE REQUIRED
STAGING AREA REQUIRED: @ 118 UNITS, 13m² MINIMUM REQUIRED

PROVIDED

SOLID WASTE MANAGEMENT PLAN PROVIDED:
61m² WASTE STORAGE ROOM SIZE PROVIDED



1 WASTE MANAGEMENT PLAN - BUILDINGS C & E
RZ009 1 : 200

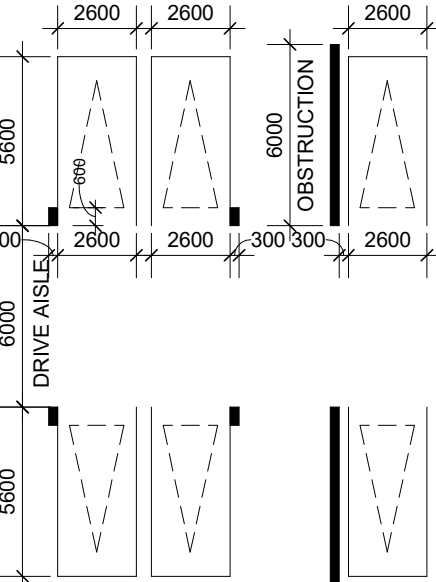


2 WASTE MANAGEMENT PLAN - BUILDINGS D & F
RZ009 1 : 200

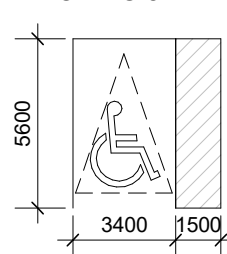
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AISLE WIDTH: MIN 6m

TYPICAL PARKING SPACE:
MIN 2.6 x 5.6 x 2.0m HIGH



TYPICAL BARRIER FREE SPACE:
MIN 3.4 x 5.6 x 2.1m HIGH



	2021-06-28	ISSUED FOR ZBA	CCU
N	DATE	DESCRIPTION	BY

PROJECT

Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING

UNDERGROUND LEVEL 02

PROJECT NO.
06.077RZ

PROJECT DATE
2021-05-03

DRAWN BY
CCU / ALG

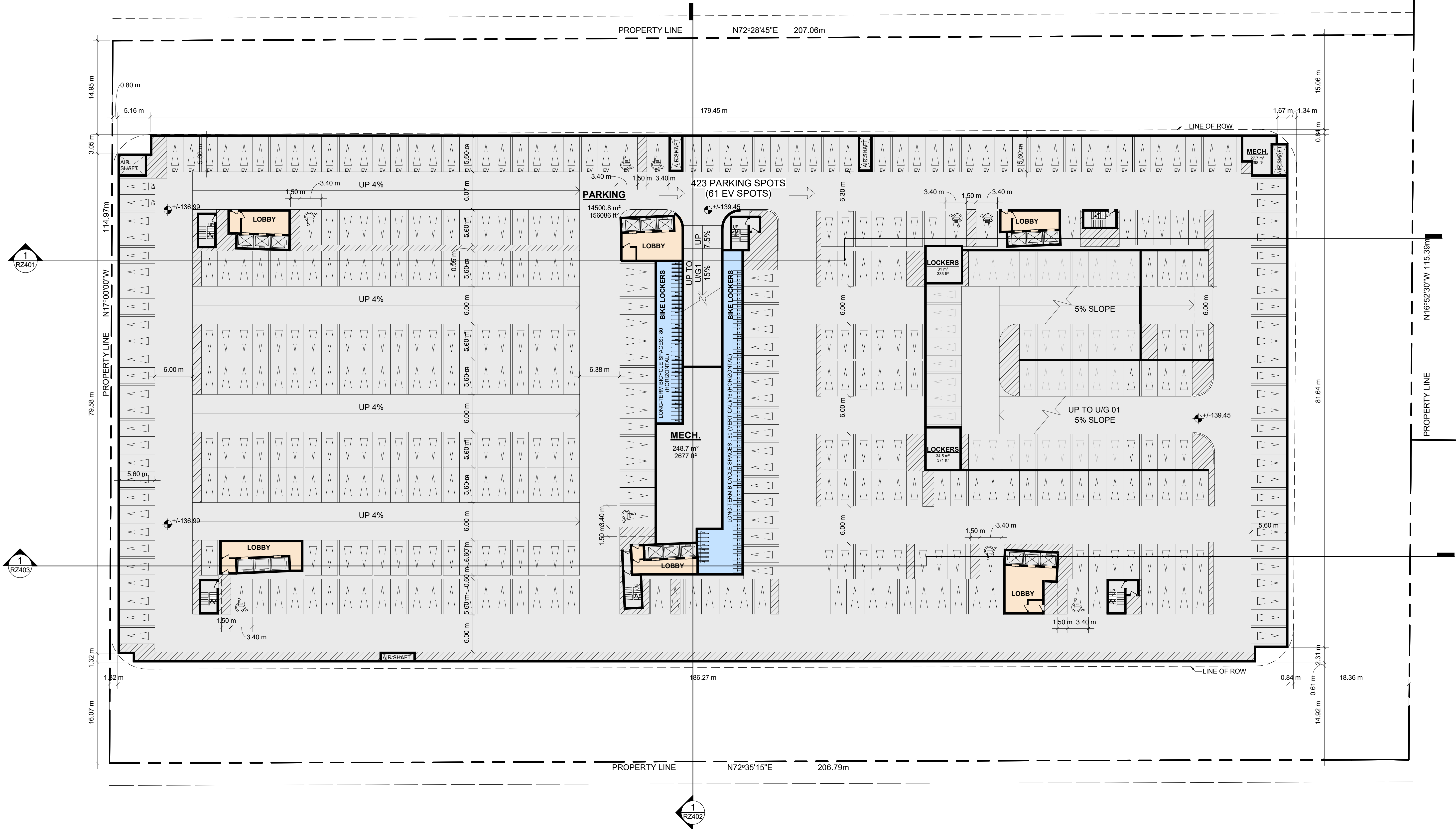
CHECKED BY
CCU / RMM

SCALE
As indicated



DRAWING NO.

REV.

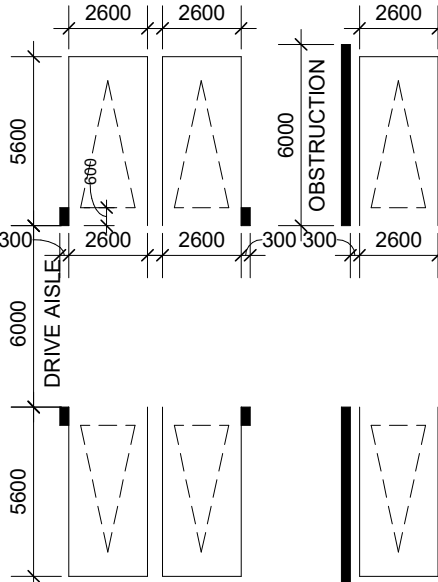


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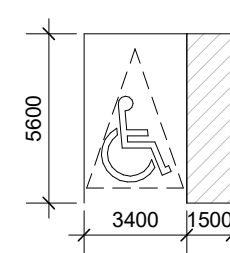
TYPICAL PARKING DIMENSIONS:

aisle width: min 6m

TYPICAL PARKING SPACE:
MIN 2.6 x 5.6 x 2.0m HIGH



TYPICAL BARRIER FREE SPACE:
MIN 3.4 x 5.6 x 2.1m HIGH



1	2021-06-28	ISSUED FOR ZBA	CCU
#	DATE	DESCRIPTION	BY

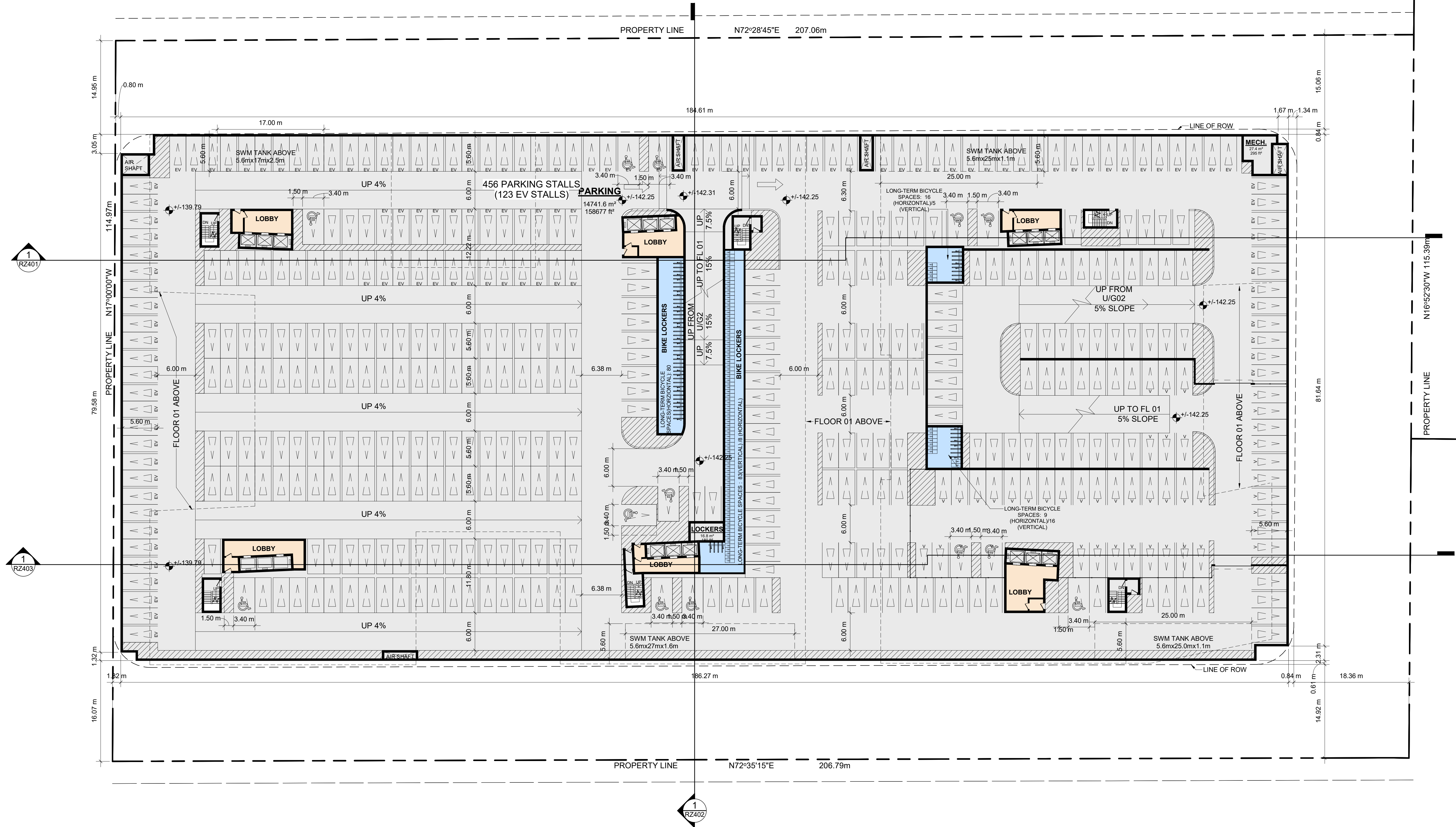
PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING
UNDERGROUND LEVEL 01

PROJECT NO. 06.077RZ	
PROJECT DATE 2021-05-03	
DRAWN BY CCU / ALG	
CHECKED BY CCU / RMM	
SCALE As indicated	

DRAWING NO. RZ102	REV. 1
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LEGEND

PRIMARY
RESIDENTIAL ENTRANCE

SECONDARY
RESIDENTIAL ENTRANCE

RETAIL ENTRANCE

EXIT

FIRE HYDRANT

SIAMESE CONNECTION

CONVEX MIRROR

TRANSFORMER WITH
CLEARANCES

FIRE ROUTE SIGN

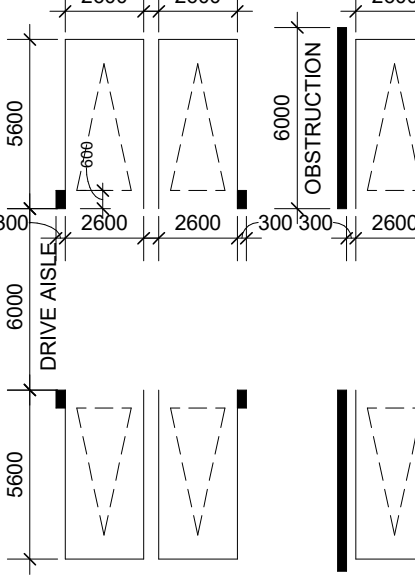
0.000.00 SPOT ELEVATION

GAS/HYDRO METER

TYPICAL PARKING DIMENSIONS:

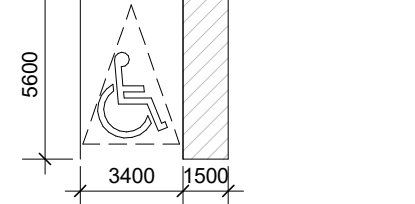
aisle width: min 6m

TYPICAL PARKING SPACE:
min 2.6 x 5.6 x 2.0m HIGH



TYPICAL BARRIER FREE SPACE:

min 3.4 x 5.6 x 2.1m HIGH



1 2021-06-28 ISSUED FOR ZBA

DATE DESCRIPTION CCU BY

PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING

FLOOR 01

PROJECT NO.

06.077RZ

PROJECT DATE

2021-05-03

DRAWN BY

CCU / ALG

CHECKED BY

CCU / RMM

SCALE

As indicated



DRAWING NO. REV.

RZ151 1

WARDEN AVENUE

1
RZ401

1
RZ403

1
RZ151

FLOOR 01
1:300

EXISTING 2-STOREY COMMERCIAL BUILDING

PARK

PUBLIC ROAD 'A'

PUBLIC ROAD 'A'

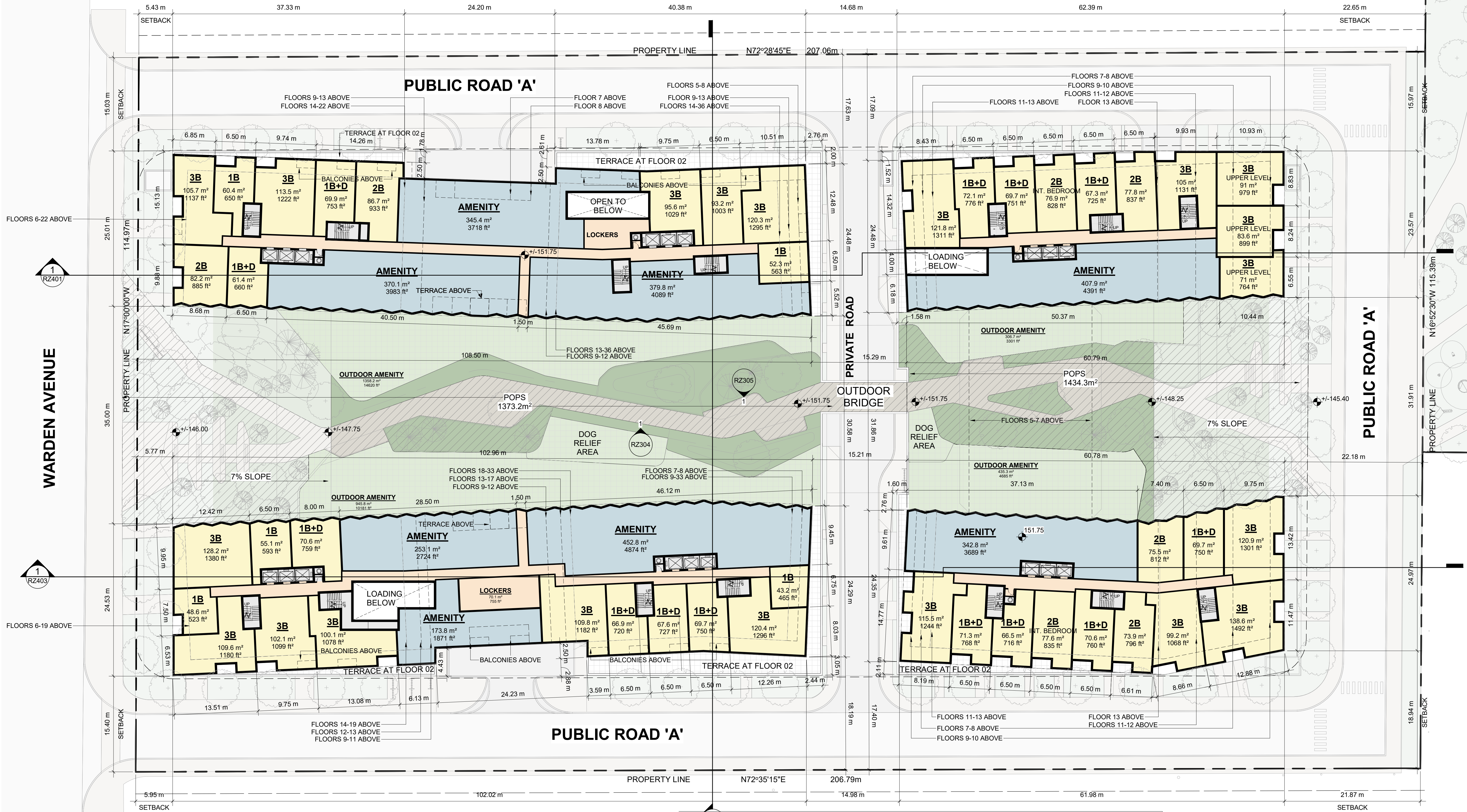
PUBLIC ROAD 'A'

EXISTING 1-STOREY COMMERCIAL BUILDING

TURNER
FLEISCHER

Turner Fleischer Architects Inc.
67 Leslie Road
Toronto, ON M5B 2T8
T 416 425 2222
turnerfleischer.com

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EXISTING 2-STOREY COMMERCIAL BUILDING

1	2021-06-28	ISSUED FOR ZBA	CCU
#	DATE	DESCRIPTION	BY

PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING

FLOOR 02

PROJECT NO. 06.077RZ	ONTARIO ASSOCIATION OF ARCHITECTS RUSSELL FLEISCHER LICENCE 5004
PROJECT DATE 2021-05-03	
DRAWN BY CCU / ALG	
CHECKED BY CCU / RMM	
SCALE 1 : 300	

DRAWING NO. RZ152	REV. 1
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2021-06-25 4:53:51 PM

1 FLOOR 02
RZ152 1 : 300

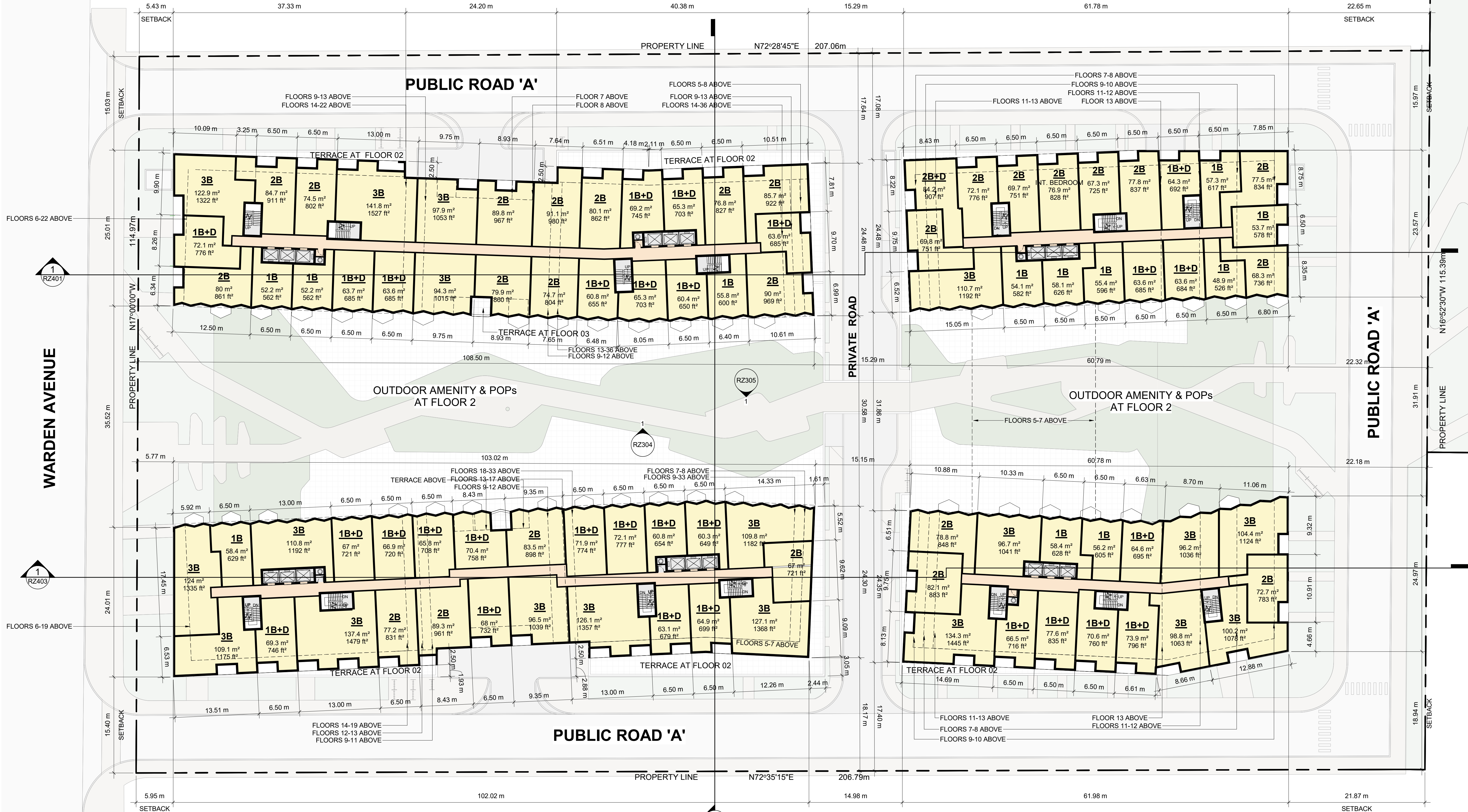
EXISTING 1-STOREY COMMERCIAL BUILDING

TURNER
FLEISCHER

Turner Fleischer Architects Inc.

67 Leslie Road
Toronto, ON, M5B 2T8
T 416 425 2222
turnerfleischer.com

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EXISTING 2-STOREY COMMERCIAL BUILDING

1 2021-06-28 ISSUED FOR ZBA

DATE DESCRIPTION CCU BY

PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING

FLOORS 03-04

PROJECT NO.

06.077RZ

PROJECT DATE

2021-05-03

DRAWN BY

CCU / ALG

CHECKED BY

CCU/RMM

SCALE

1 : 300



RUSSELL FLEISCHER
LICENCE
5004

DRAWING NO.

REV.

RZ153

1

2021-06-25 4:53:55 PM

1 FLOOR 03-04

RZ153 1 : 300

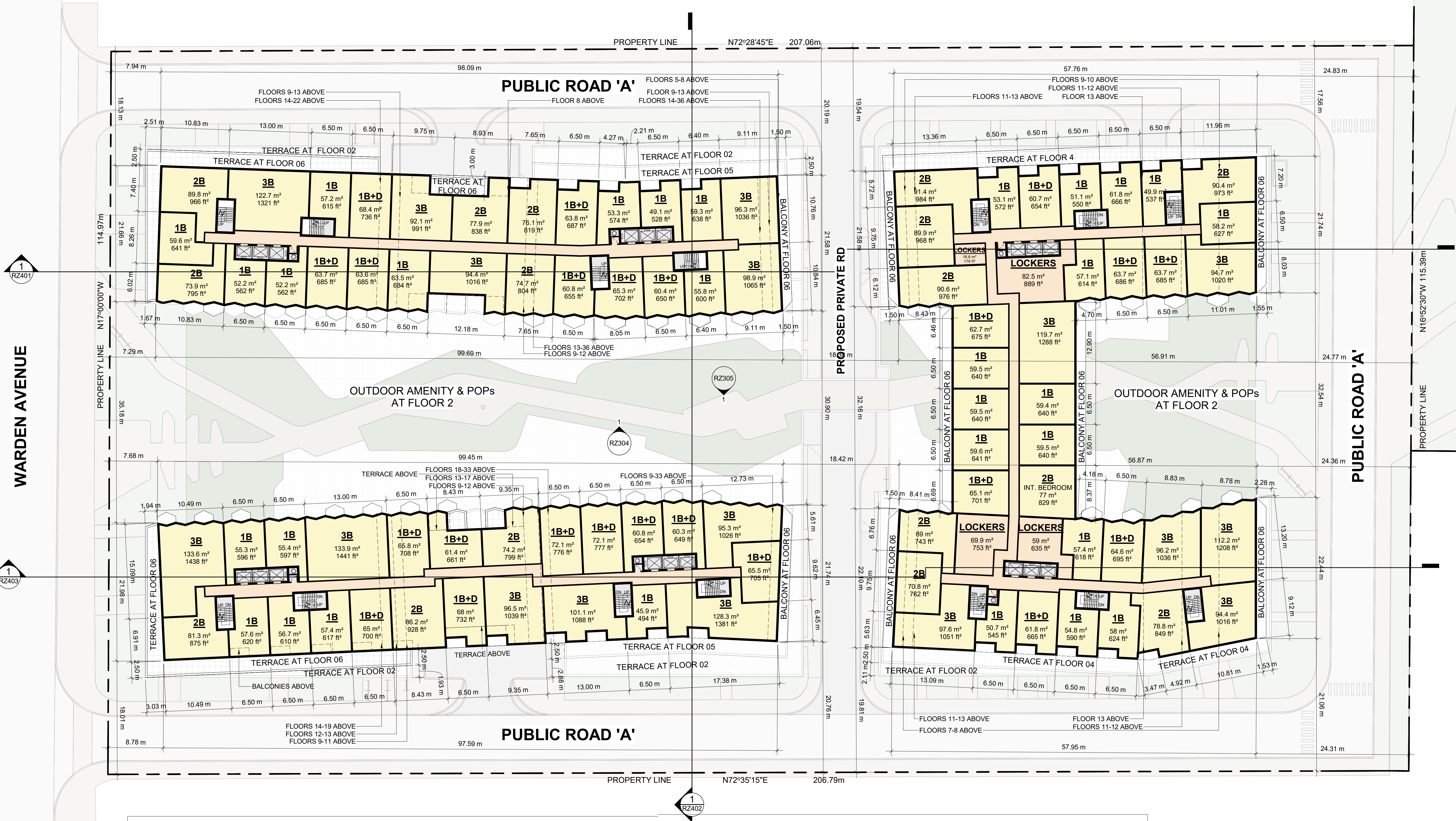
EXISTING 1-STOREY COMMERCIAL BUILDING

TURNER
FLEISCHER

Turner Fleischer Architects Inc.

67 Leslie Road
Toronto, ON, M5B 2T8
T 416 425 2222
turnerfleischer.com

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1 2021-06-28 ISSUED FOR ZBA

DATE DESCRIPTION CCU BY

PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING

FLOOR 06-07

PROJECT NO.
06.077RZ
PROJECT DATE
2021-05-03
DRAWN BY
CCU / ALG
CHECKED BY
CCU / RMM
SCALE
1 : 300



DRAWING NO.
RZ154
REV.
1

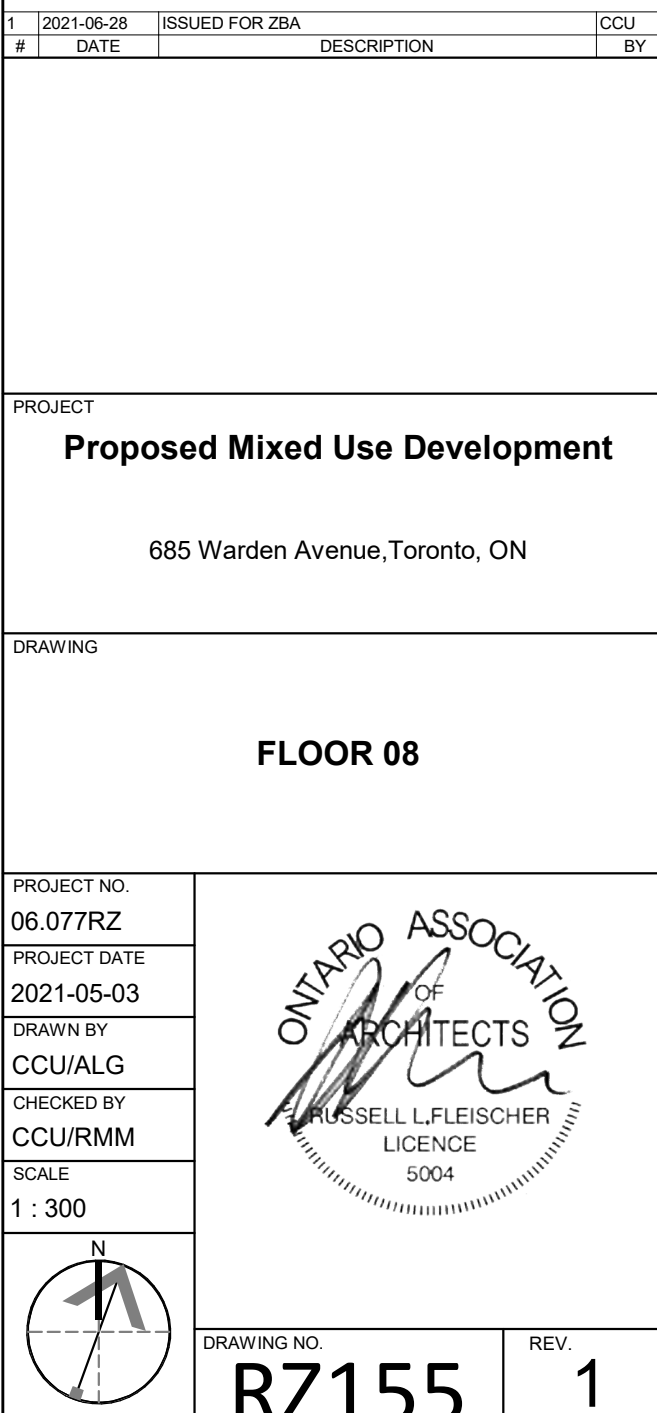
EXISTING 2-STOREY COMMERCIAL BUILDING

FLOOR 06-07

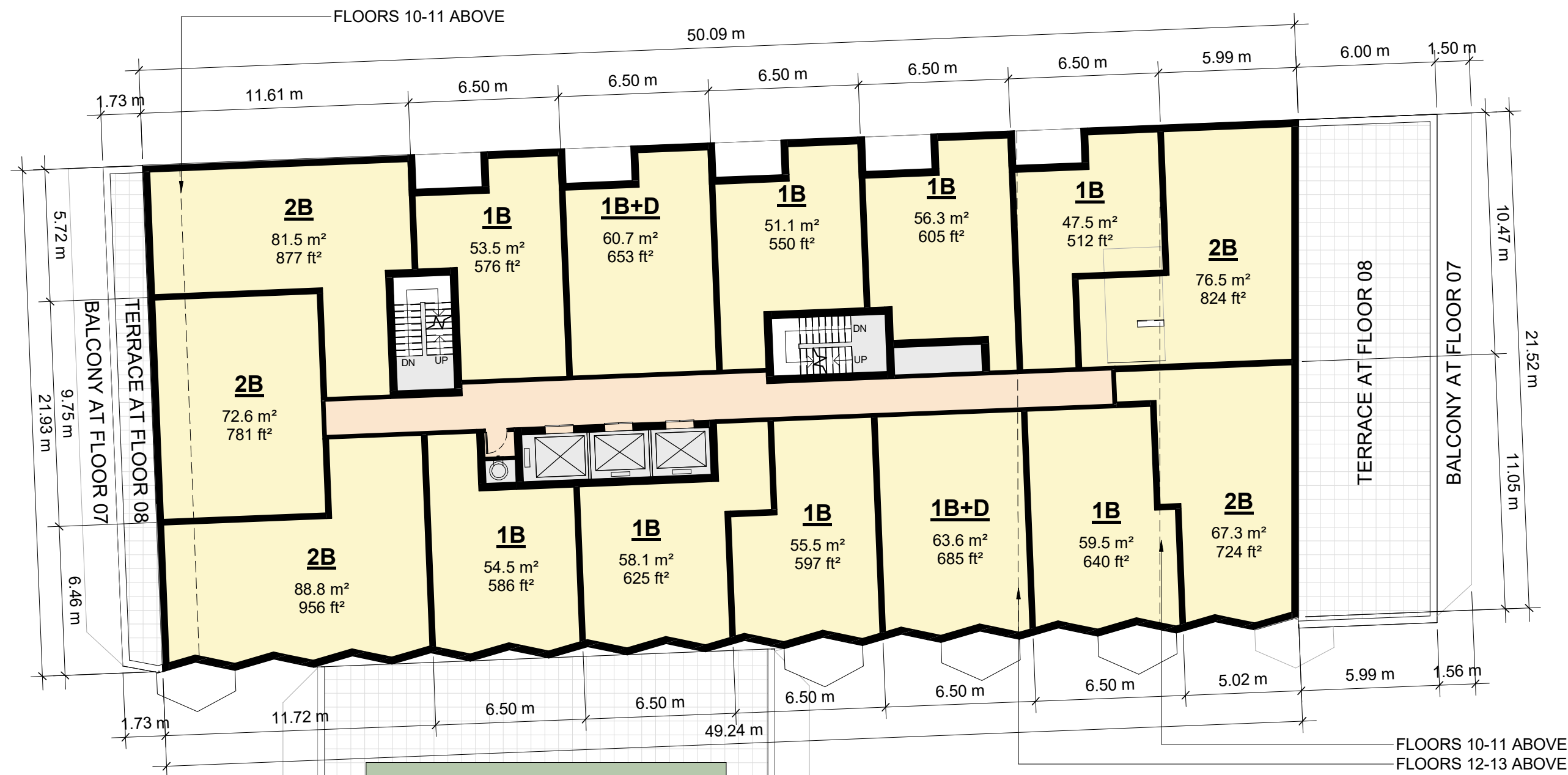
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2021-06-25 4:53:58 PM

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1 TYPICAL FLOORS 8-9 (BLDG A & B)

RZ156 1 : 200



2 TYPICAL FLOORS 10-11 (BLDG A & B)

RZ156 1 : 200

1	2021-06-28	ISSUED FOR ZBA		CCU
#	DATE	DESCRIPTION		BY

PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING
TYPICAL FLOORS (BLDG A & B)

PROJECT NO.
06.077RZ
PROJECT DATE
2021-05-03
DRAWN BY
CCU / ALG
CHECKED BY
CCU / RMM
SCALE
1 : 200



DRAWING NO.
RZ156
REV.
1

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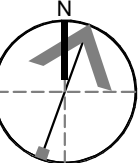


1 TYPICAL FLOORS 12-13 (BLDG A & B)
RZ157 1 : 200

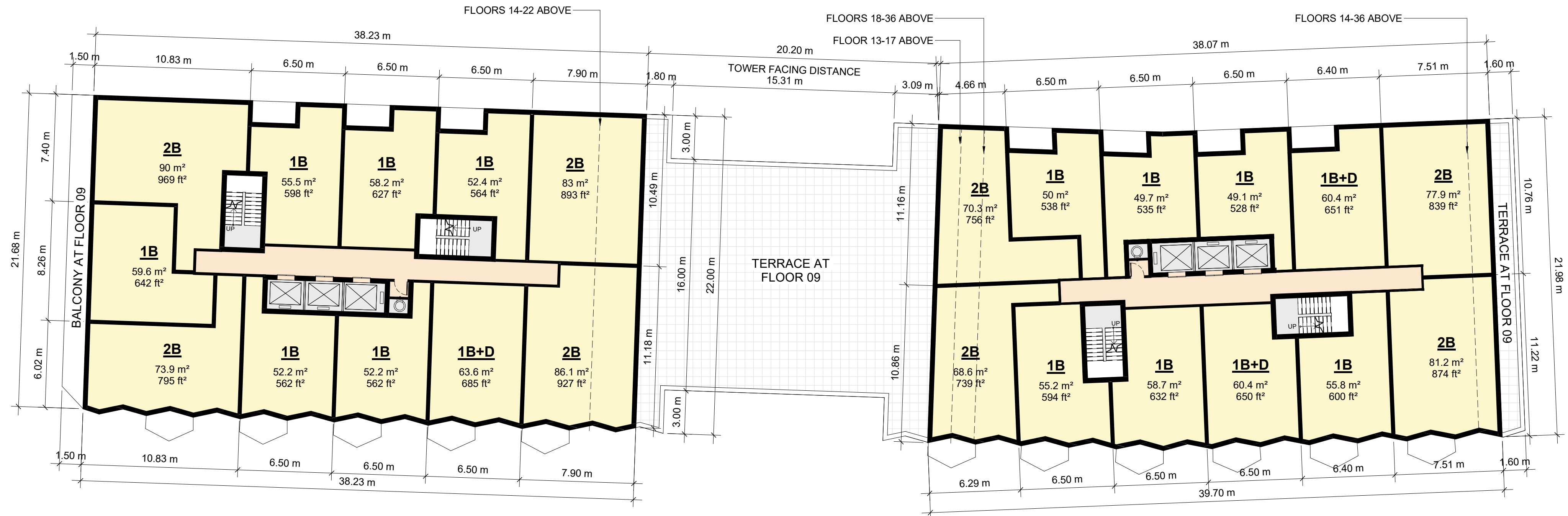
1	2021-06-28	ISSUED FOR ZBA	CCU
#	DATE	DESCRIPTION	BY

PROJECT
Proposed Mixed Use Development
685 Warden Avenue, Toronto, ON

DRAWING
TYPICAL FLOORS (A&B)

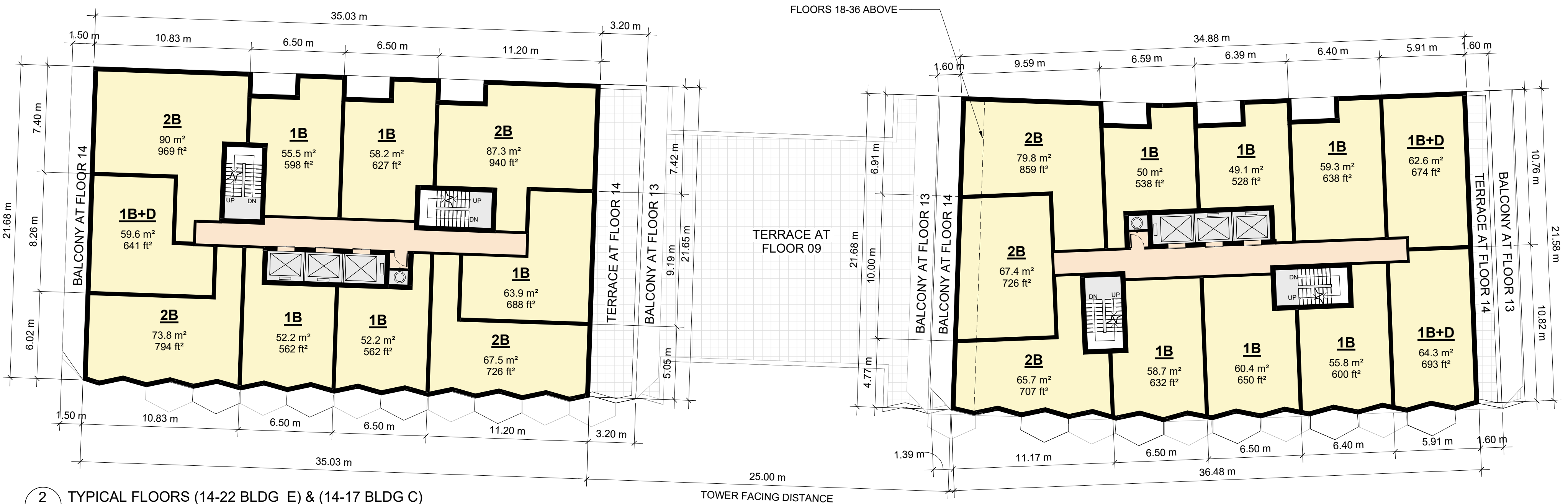
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PROJECT DATE 2021-05-03		
DRAWN BY CCU / ALG		
CHECKED BY CCU / RMM		
SCALE 1 : 200		
	DRAWING NO. RZ157	REV. 1

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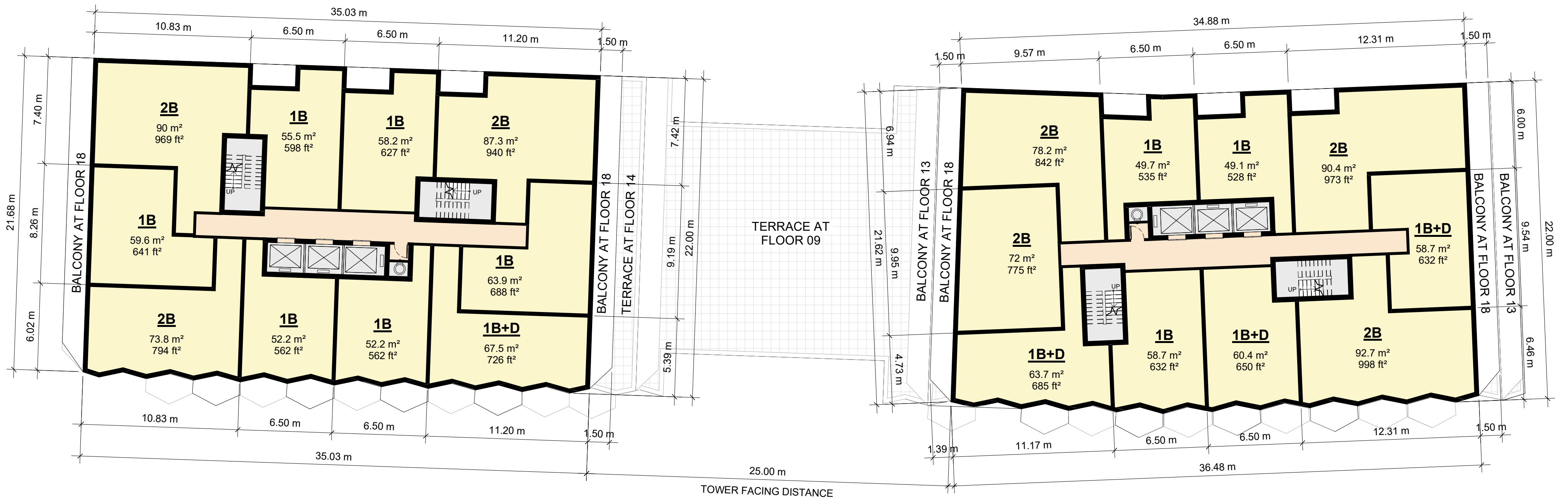
1 TYPICAL FLOORS 09-13 (BLDG E & C)

RZ158 1 : 200



2 TYPICAL FLOORS (14-22 BLDG E) & (14-17 BLDG C)

RZ158 1 : 200



3 TYPICAL FLOORS 18-36 (BLDG C)

RZ158 1 : 200

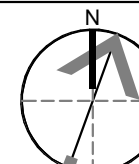
1	2021-06-28	ISSUED FOR ZBA	CCU
#	DATE	DESCRIPTION	BY

PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

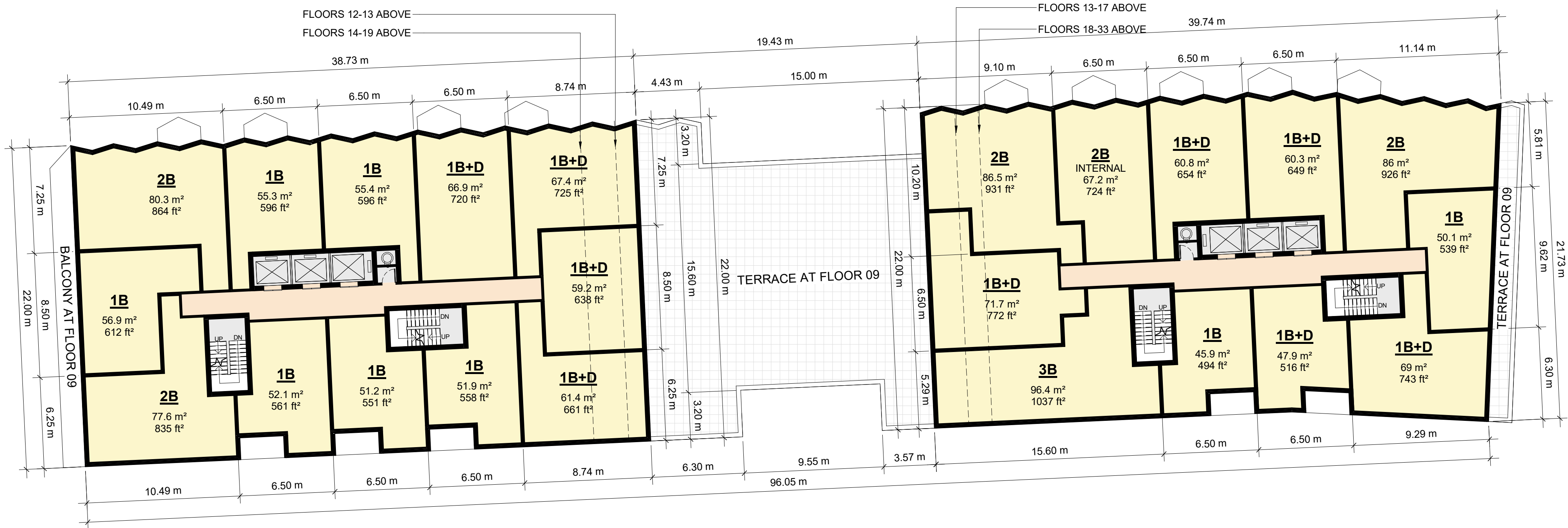
DRAWING
TYPICAL FLOORS (BLDG C & E)

PROJECT NO.
06.077RZ
PROJECT DATE
2021-05-03
DRAWN BY
CCU / ALG
CHECKED BY
CCU / RMM
SCALE
1 : 200

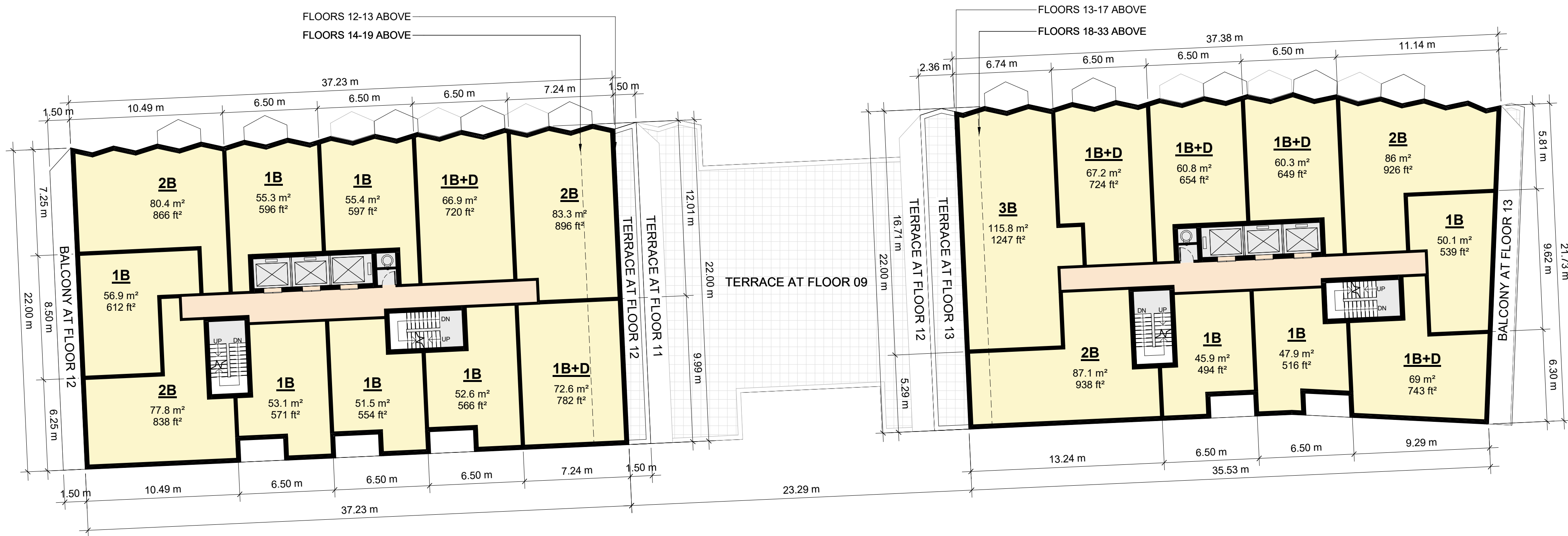


DRAWING NO.
RZ158
REV.
1

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1 TYPICAL FLOORS (09-11 BLDG F) & (09-12 BLDG D)
RZ159 1 : 200



3 TYPICAL FLOORS 12-13 (BLDG F)
RZ159 1 : 200


2 TYPICAL FLOORS 13-17 (BLDG D)
RZ159 1 : 200

1	2021-06-28	ISSUED FOR ZBA	CCU
#	DATE	DESCRIPTION	BY

PROJECT
Proposed Mixed Use Development

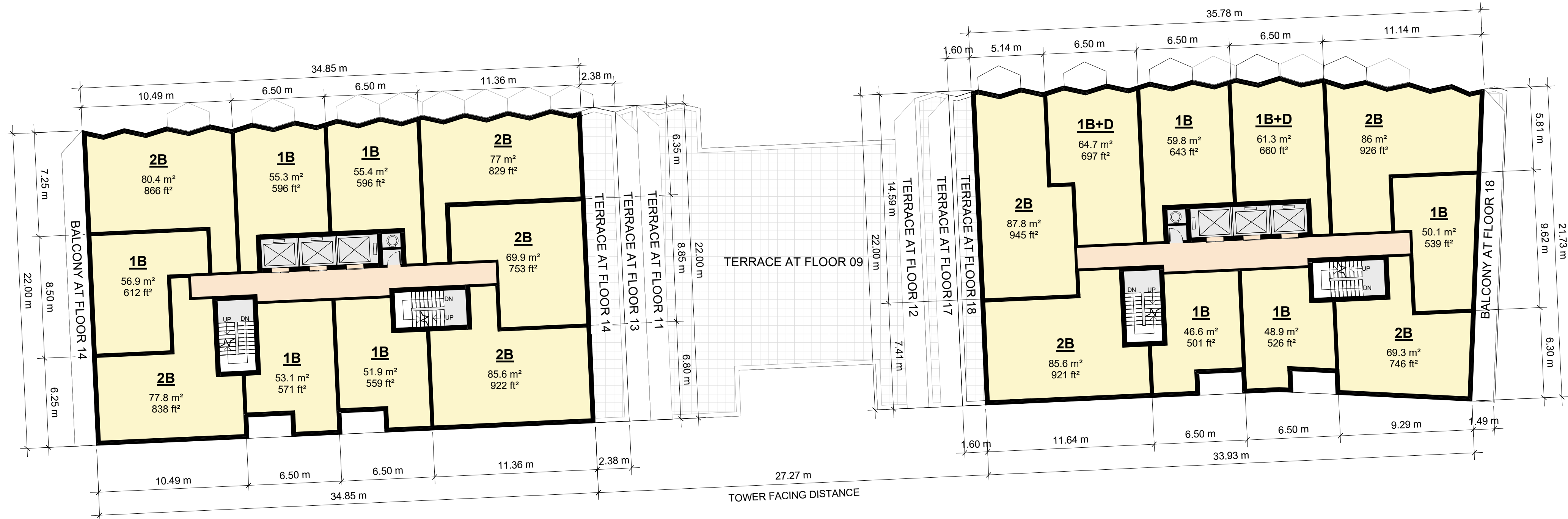
685 Warden Avenue, Toronto, ON

DRAWING
TYPICAL FLOORS (BLDG D & F)

PROJECT NO. 06.077RZ	
PROJECT DATE 2021-05-03	
DRAWN BY CCU / ALG	
CHECKED BY CCU / RMM	
SCALE 1 : 200	

DRAWING NO. RZ159	REV. 1
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1 TYPICAL FLOORS 14-19 (BLDG F)
RZ160 1 : 200


2 TYPICAL FLOORS 18-29 (BLDG D)
RZ160 1 : 200

1	2021-06-28	ISSUED FOR ZBA	CCU
#	DATE	DESCRIPTION	BY

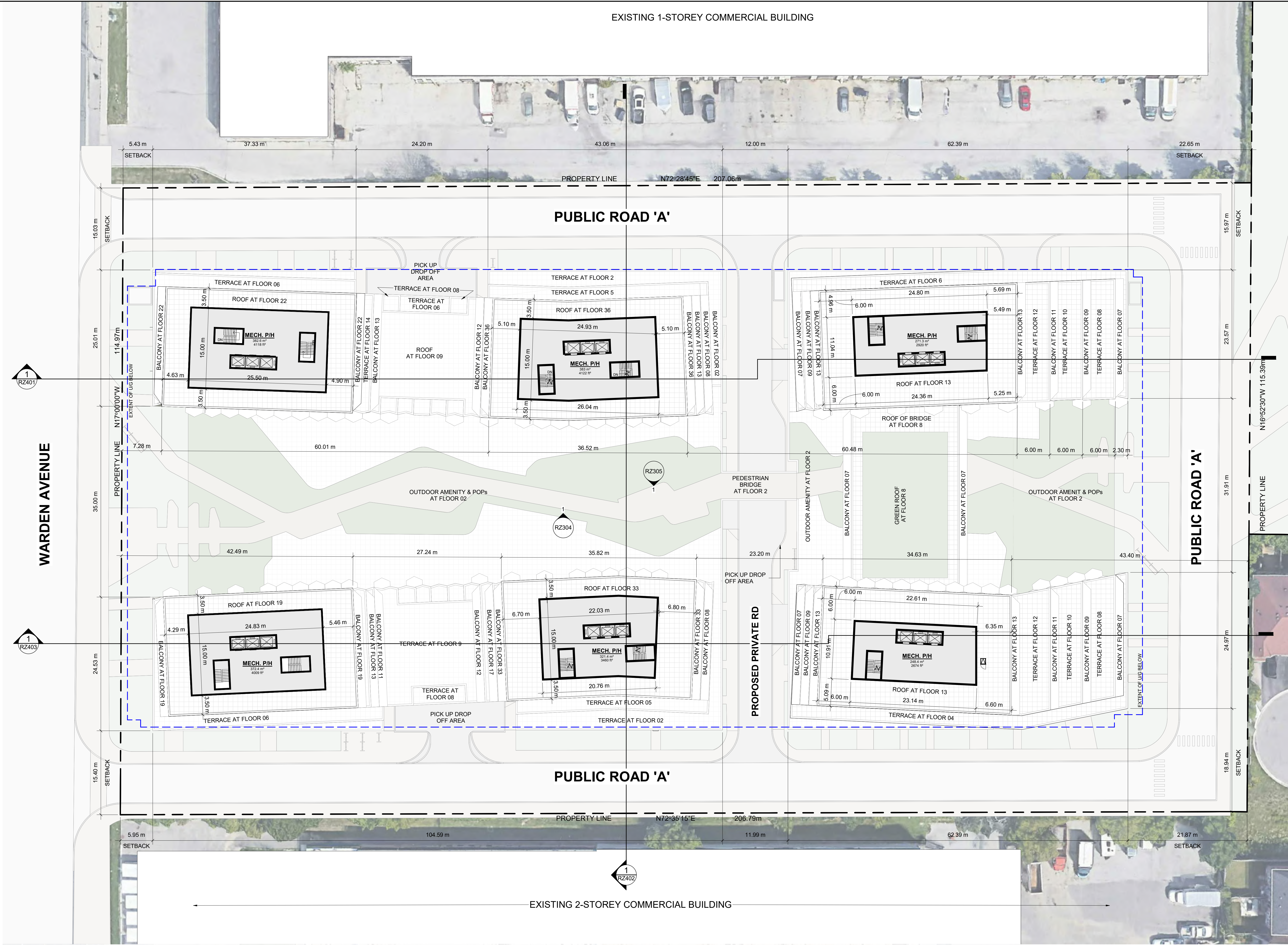
PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING
TYPICAL FLOORS (BLDG D & F)

PROJECT NO. 06.077RZ	
PROJECT DATE 2021-05-03	
DRAWN BY CCU / ALG	
CHECKED BY CCU / RMM	
SCALE 1 : 200	

	DRAWING NO. RZ160	REV. 1
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TURNER
FLEISCHER

Turner Fleischer Architects Inc.
67 Leslie Road
Toronto, ON M5B 2T8
T 416 425 2222
turnerfleischer.com

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LEGEND

↑

PRIMARY
RESIDENTIAL ENTRANCE

△

SECONDARY
ENTRANCE

△

RETAIL ENTRANCE

EXIT

EXIT

⊙^{FH}

FIRE HYDRANT

⊙

SIAMESE CONNECTION

⊙

CONVEX MIRROR

⊙

TRANSFORMER WITH
CLEARANCES

⊙

FIRE ROUTE SIGN

⊙

0.00,00 SPOT ELEVATION

⊙

GAS/HYDRO METER

⊙

Site Symbols
1 : 500

1 2021-06-28 ISSUED FOR ZBA

#

DATE

DESCRIPTION

CCU

BY

PROJECT

Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING

MPH PLAN

PROJECT NO.
06.077RZ

PROJECT DATE
2021-05-03

DRAWN BY
Author

CHECKED BY
Checker

SCALE
As indicated

ONTARIO ASSOCIATION
OF
ARCHITECTS

RUSSELL L. FLEISCHER
LICENCE
5004

DRAWING NO.
RZ161

REV.
1

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EXTERIOR FINISHES LEGEND

- 1 VISION GLAZING
- CLEAR
- 2 VISION GLAZING
- SPANDREL
- 3 METAL OR PRECAST PANEL OR BRICK
- LIGHT
- 4 METAL OR PRECAST PANEL OR BRICK
- DARK



1 NORTH ELEVATION
RZ301 1 : 300


1	2021-06-28	ISSUED FOR ZBA	CCU	BY
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PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING

ELEVATIONS

PROJECT NO. 06.077RZ	
PROJECT DATE 2021-05-03	
DRAWN BY CCU / ALG	
CHECKED BY CUU / RMM	
SCALE As indicated	

DRAWING NO.
RZ301

REV.
1

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EXTERIOR FINISHES LEGEND

- 1 VISION GLAZING
- CLEAR
- 2 VISION GLAZING
- SPANDREL
- 3 METAL OR PRECAST PANEL OR BRICK
- LIGHT
- 4 METAL OR PRECAST PANEL OR BRICK
- DARK



1 SOUTH ELEVATION
RZ302 1:300

1 2021-06-28 ISSUED FOR ZBA

#	DATE	DESCRIPTION	CCU	BY
1	2021-06-28	ISSUED FOR ZBA		

PROJECT

Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING

ELEVATIONS

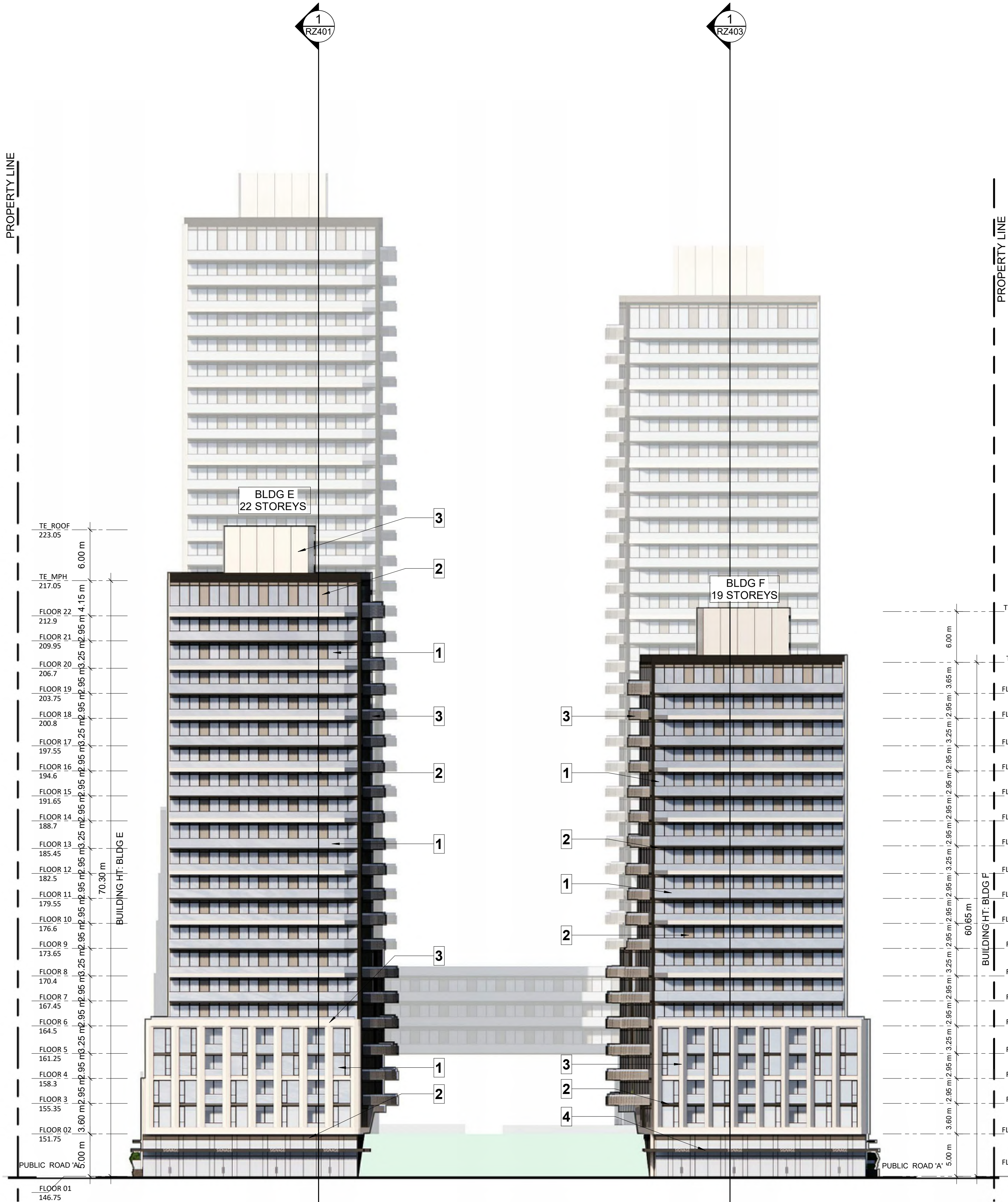
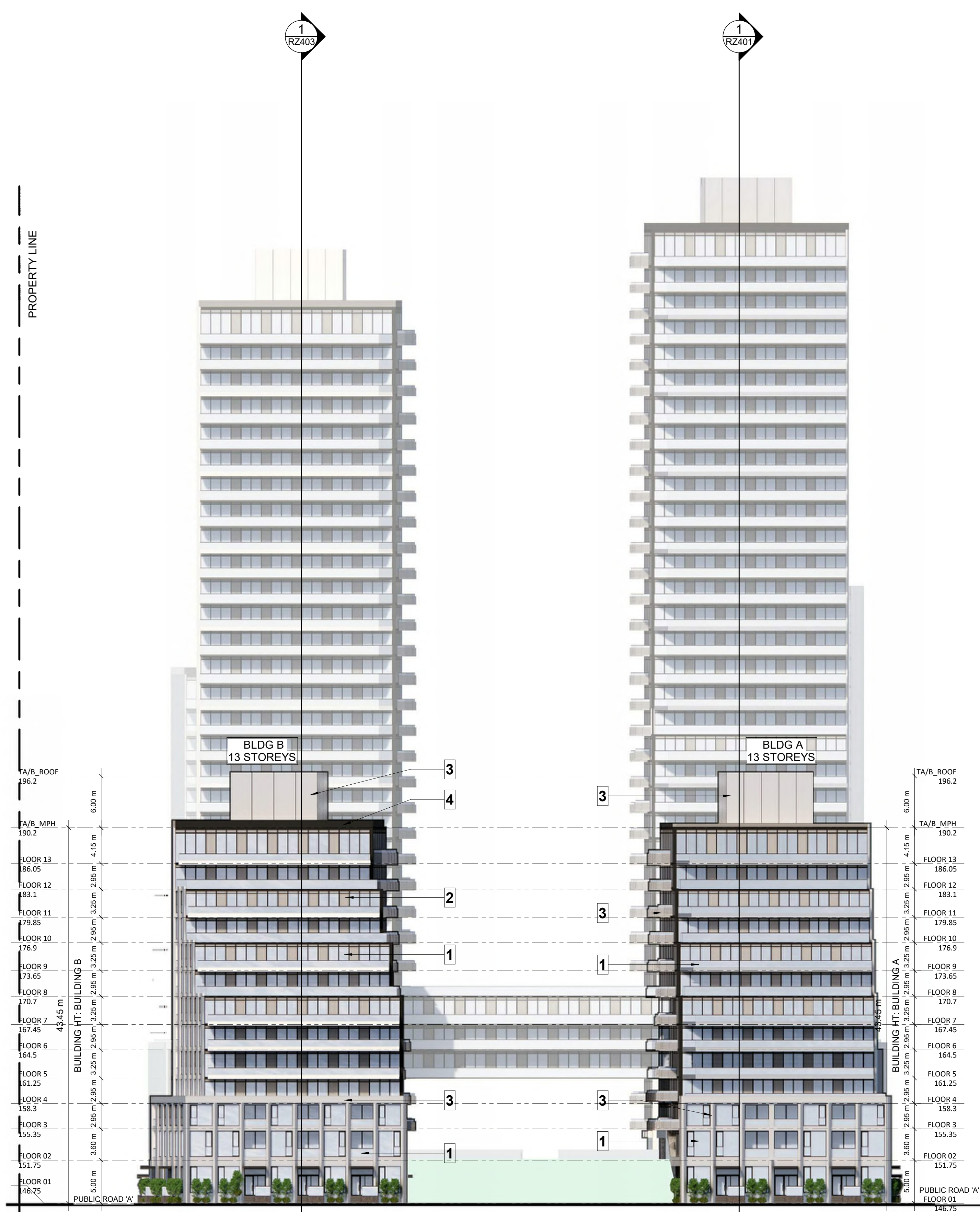
PROJECT NO. 06.077RZ	
PROJECT DATE 2021-05-03	
DRAWN BY CCU / ALG	
CHECKED BY CUU / RMM	
SCALE As indicated	

DRAWING NO. RZ302 REV. 1

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EXTERIOR FINISHES LEGEND

- 1 VISION GLAZING
- CLEAR
- 2 VISION GLAZING
- SPANDREL
- 3 METAL OR PRECAST PANEL OR BRICK
- LIGHT
- 4 METAL OR PRECAST PANEL OR BRICK
- DARK



1 2021-06-28 ISSUED FOR ZBA

DATE DESCRIPTION CCU BY

PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING

ELEVATIONS

PROJECT NO.

06.077RZ

PROJECT DATE

2021-05-03

DRAWN BY

CCU / ALG

CHECKED BY

CCU / RMM

SCALE

As indicated



DRAWING NO.

RZ303

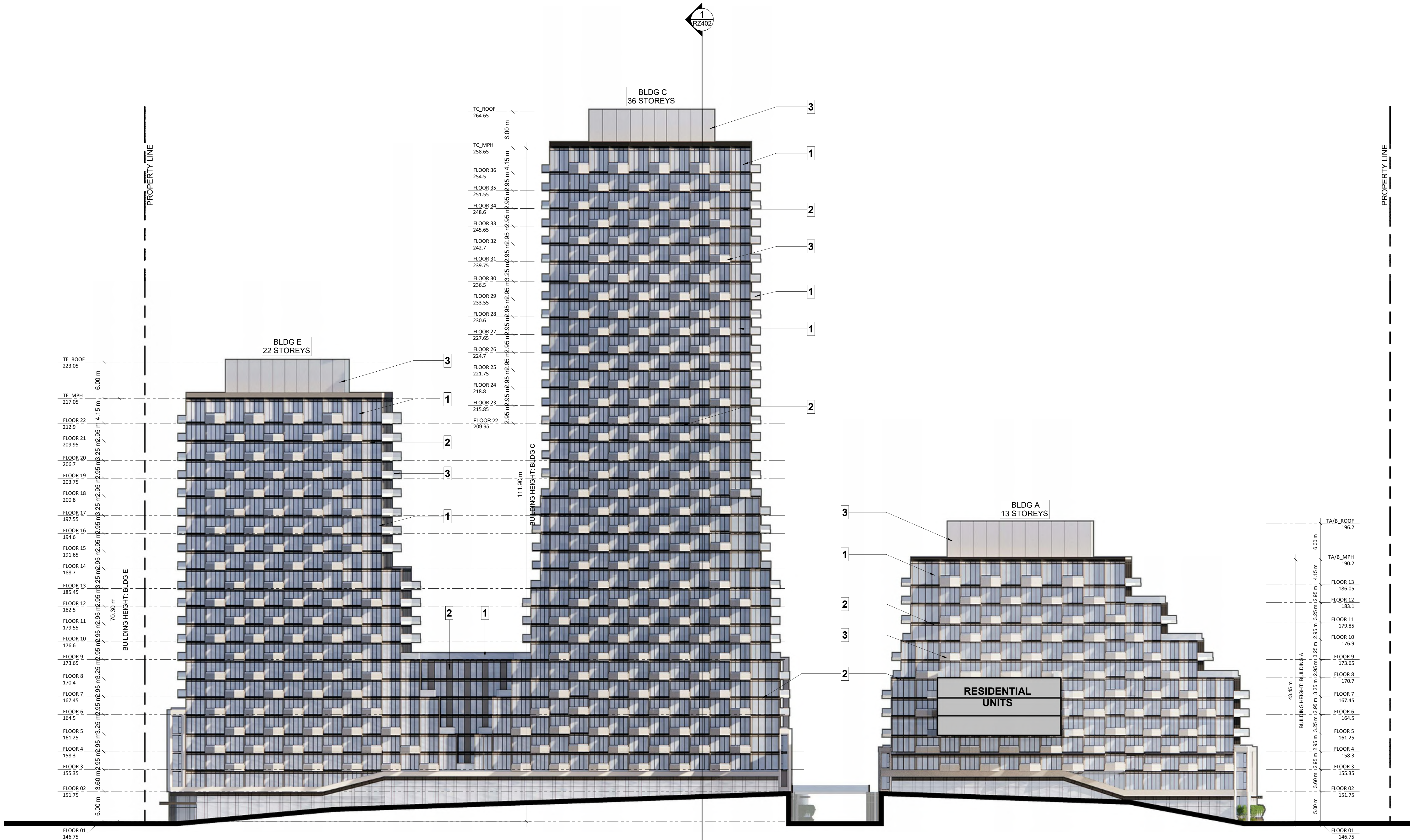
REV.

1

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EXTERIOR FINISHES LEGEND

- 1 VISION GLAZING
- CLEAR
- 2 VISION GLAZING
- SPANDREL
- 3 METAL OR PRECAST PANEL OR BRICK
- LIGHT
- 4 METAL OR PRECAST PANEL OR BRICK
- DARK




#	DATE	DESCRIPTION	CCU	BY
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PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING

ELEVATIONS

PROJECT NO. 06.077RZ	
PROJECT DATE 2021-05-03	
DRAWN BY Author	
CHECKED BY Checker	
SCALE As indicated	

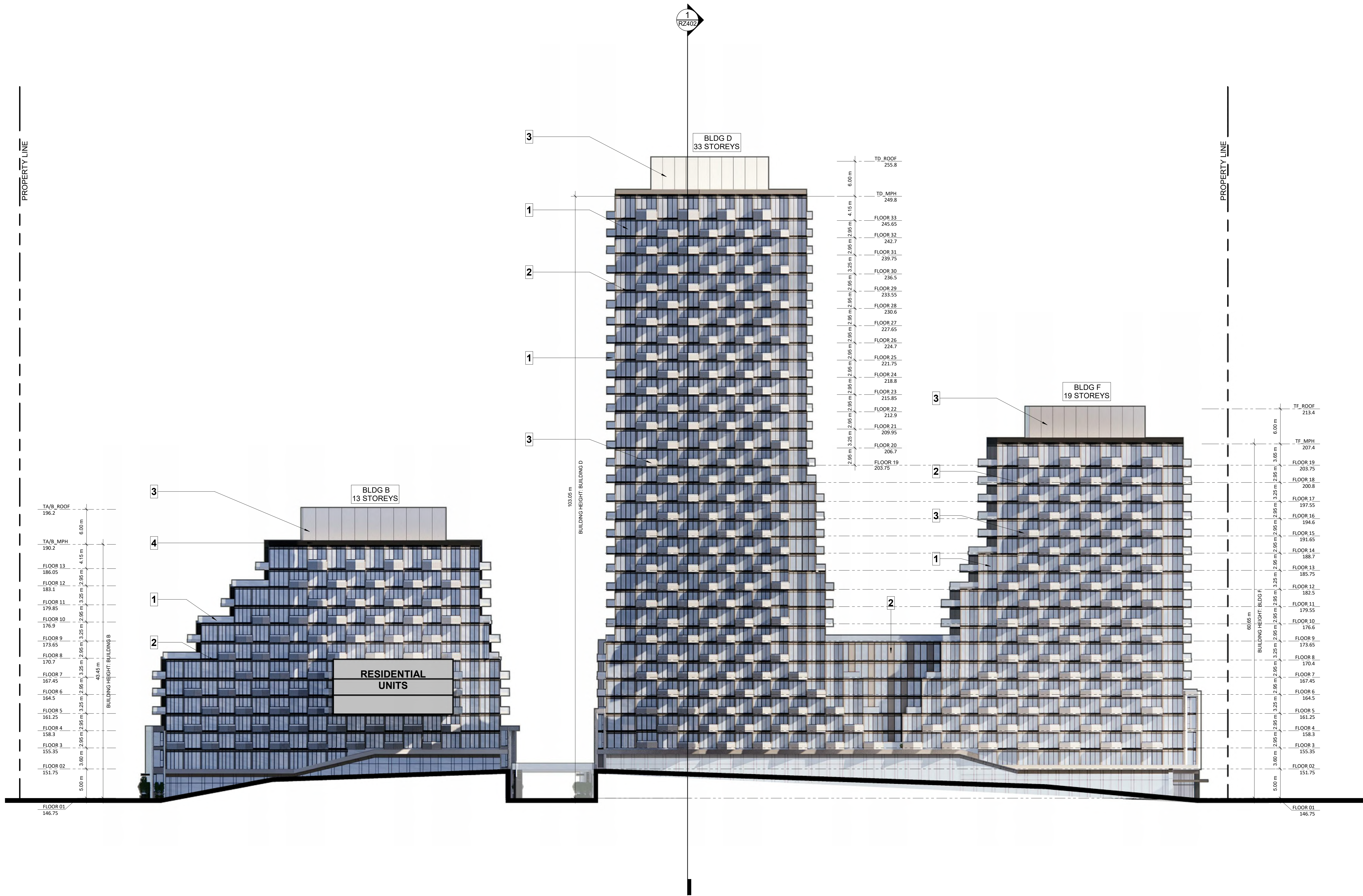
DRAWING NO.
RZ304

REV.
1

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EXTERIOR FINISHES LEGEND

- 1 VISION GLAZING
- CLEAR
- 2 VISION GLAZING
- SPANDREL
- 3 METAL OR PRECAST PANEL OR BRICK
- LIGHT
- 4 METAL OR PRECAST PANEL OR BRICK
- DARK

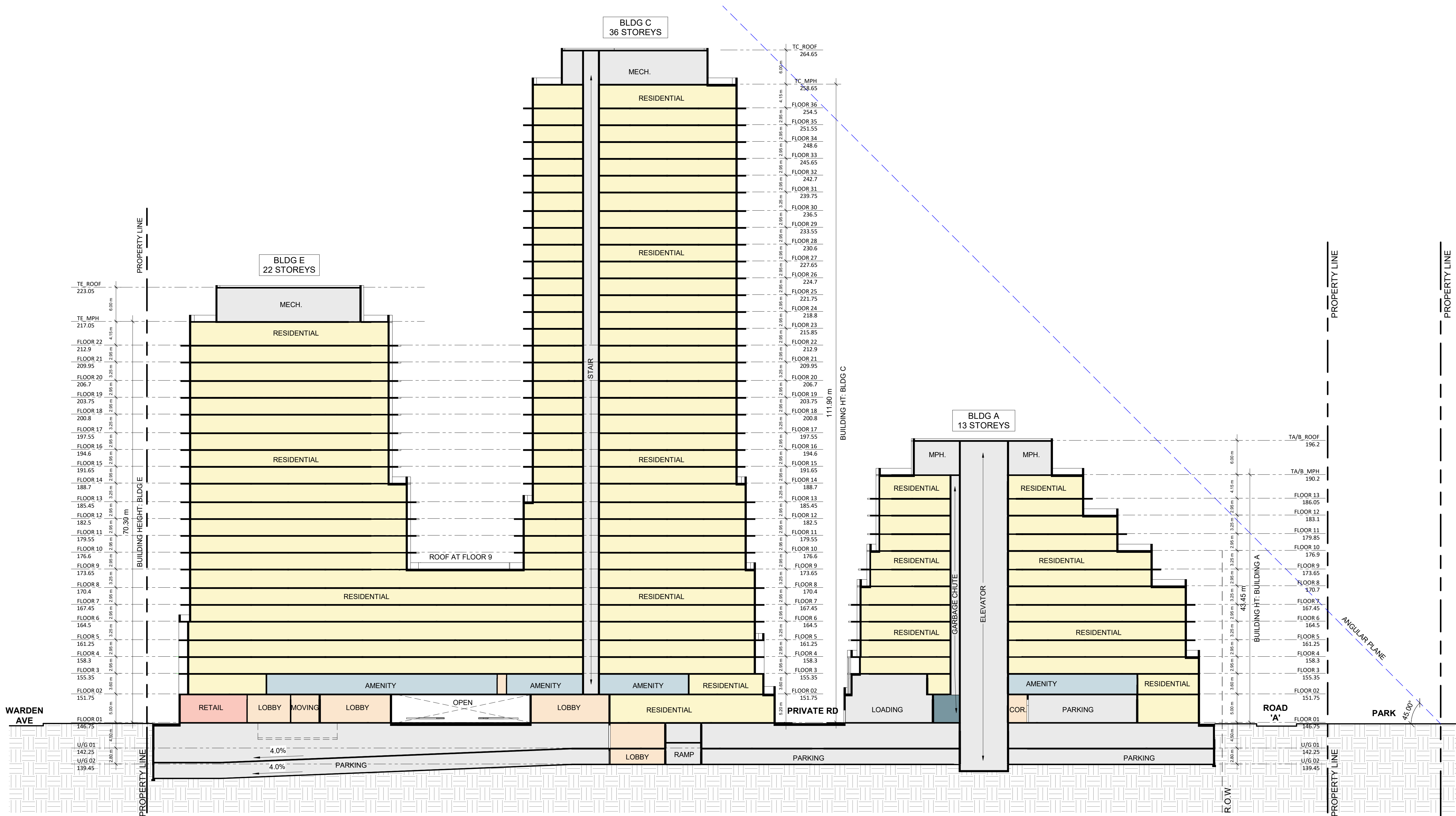


1 NORTH ELEVATION - INTERIOR
1 : 300



DRAWING NO. RZ305
REV. 1

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1 SECTION A
RZ401 1 : 350

1	2021-06-28	ISSUED FOR ZBA		CCU
#	DATE	DESCRIPTION		BY

PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING

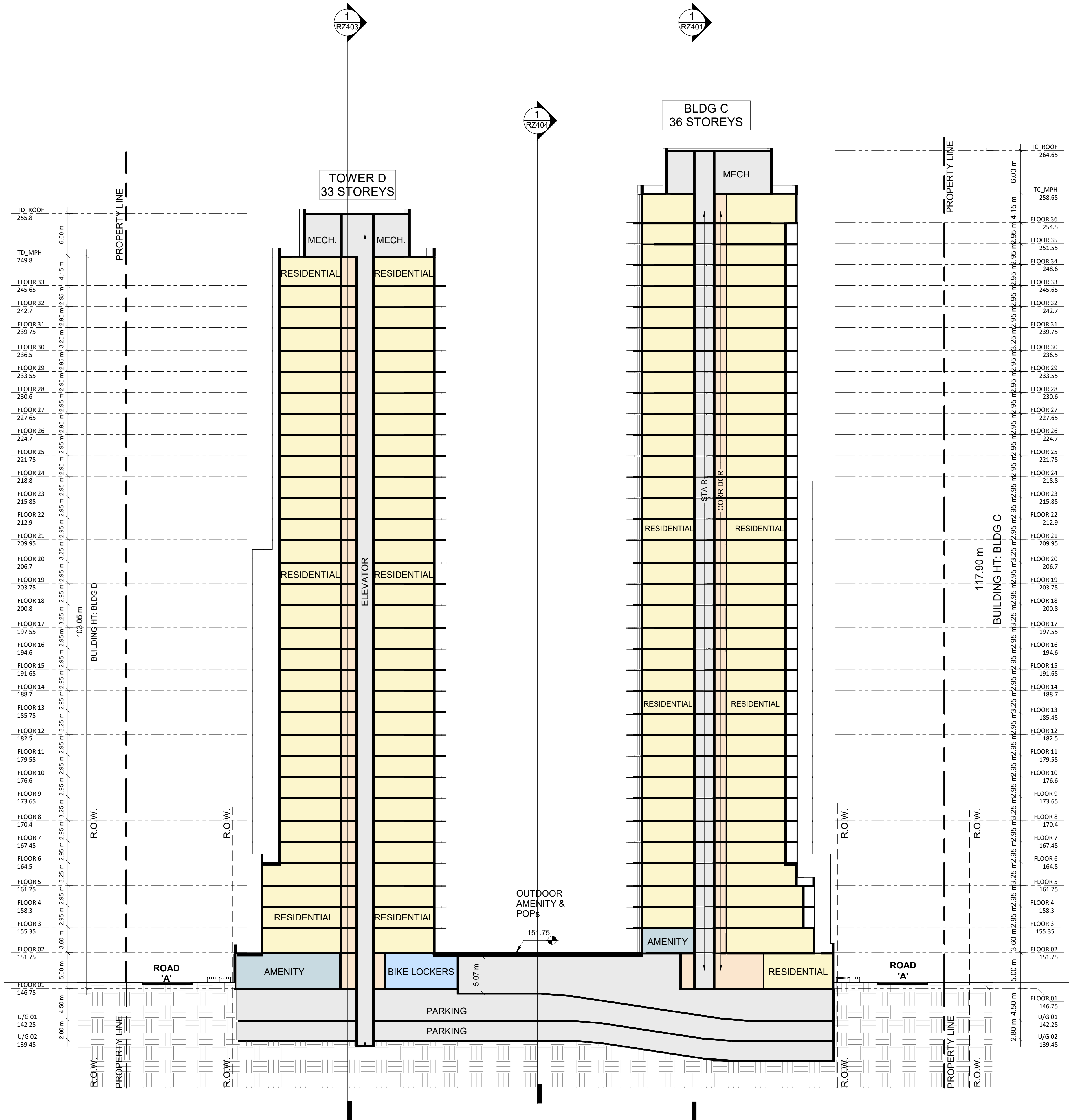
BUILDING SECTIONS

PROJECT NO. 06.077RZ	
PROJECT DATE 2021-05-03	
DRAWN BY CCU / ALG	
CHECKED BY CCU / RMM	
SCALE 1 : 350	

DRAWING NO.
RZ401

REV.
1

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1	2021-06-28	ISSUED FOR ZBA	CCU
#	DATE	DESCRIPTION	BY

PROJECT
Proposed Mixed Use Development

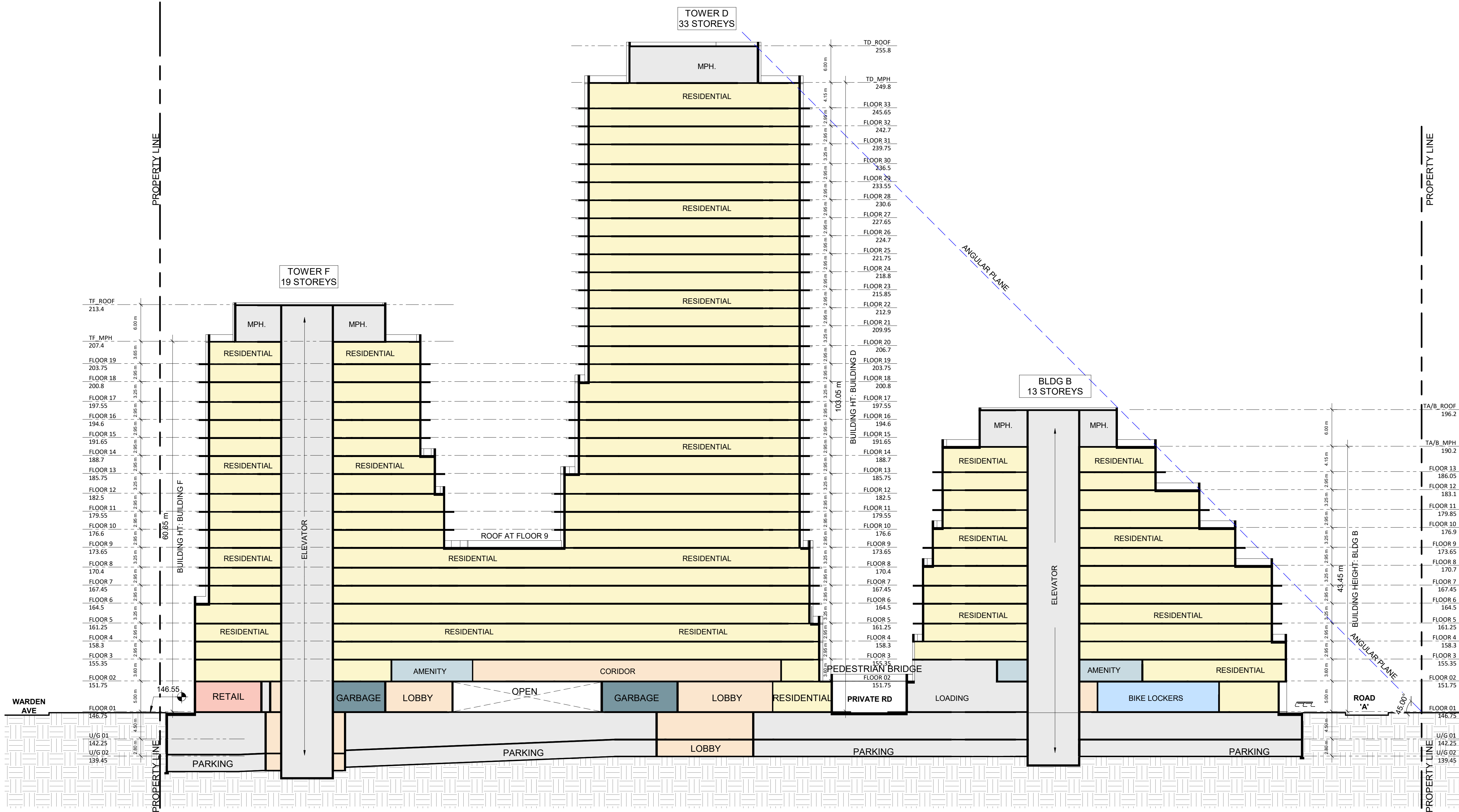
685 Warden Avenue, Toronto, ON

DRAWING
BUILDING SECTIONS

PROJECT NO. 06.077RZ	
PROJECT DATE 2021-05-03	
DRAWN BY CCU / ALG	
CHECKED BY CCU / RMM	
SCALE 1 : 300	

DRAWING NO. RZ402	REV. 1
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1 SECTION C
RZ403 1:350

1	2021-06-28	ISSUED FOR ZBA		CCU
#	DATE	DESCRIPTION		BY

PROJECT
Proposed Mixed Use Development

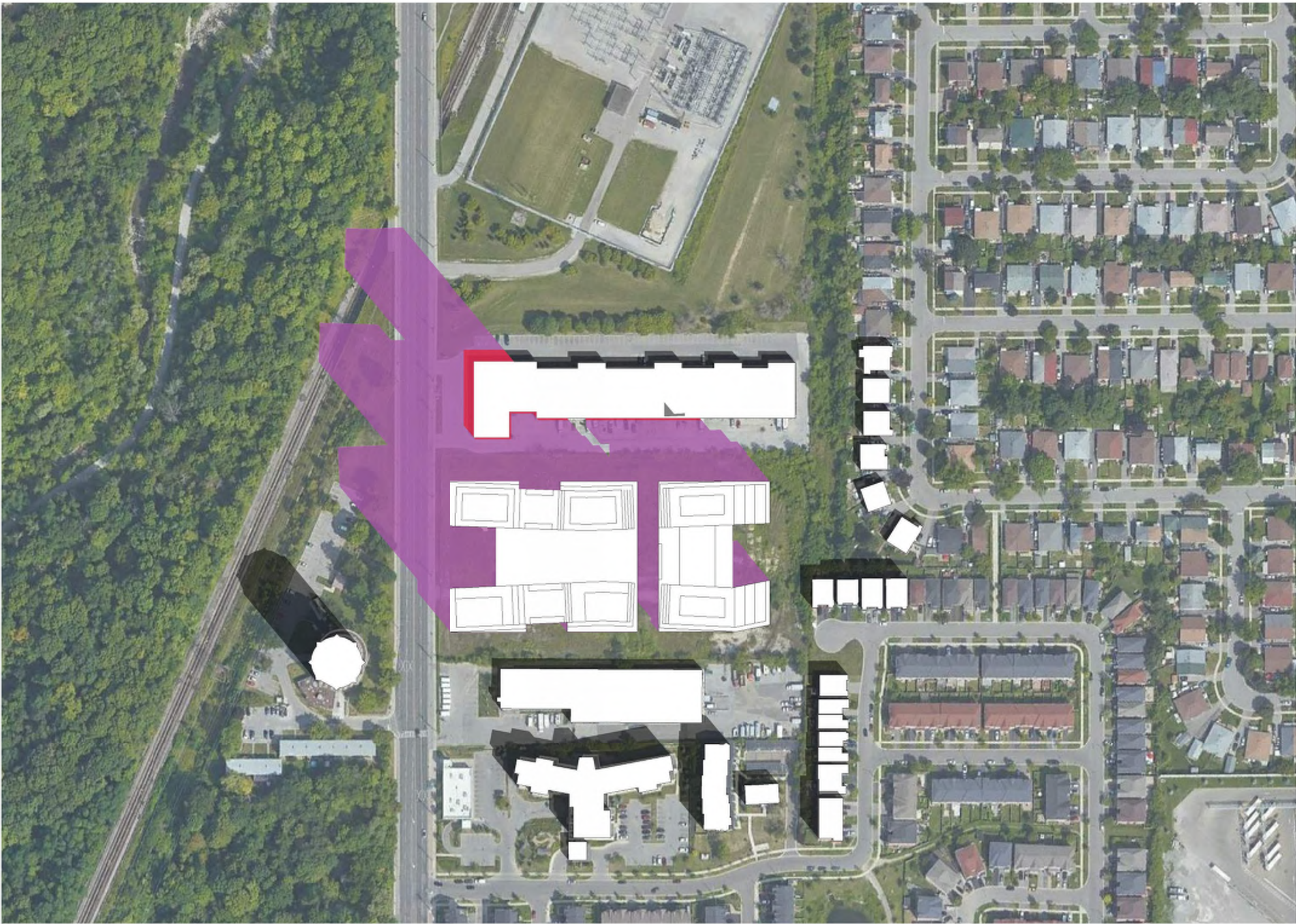
685 Warden Avenue, Toronto, ON

DRAWING
BUILDING SECTIONS

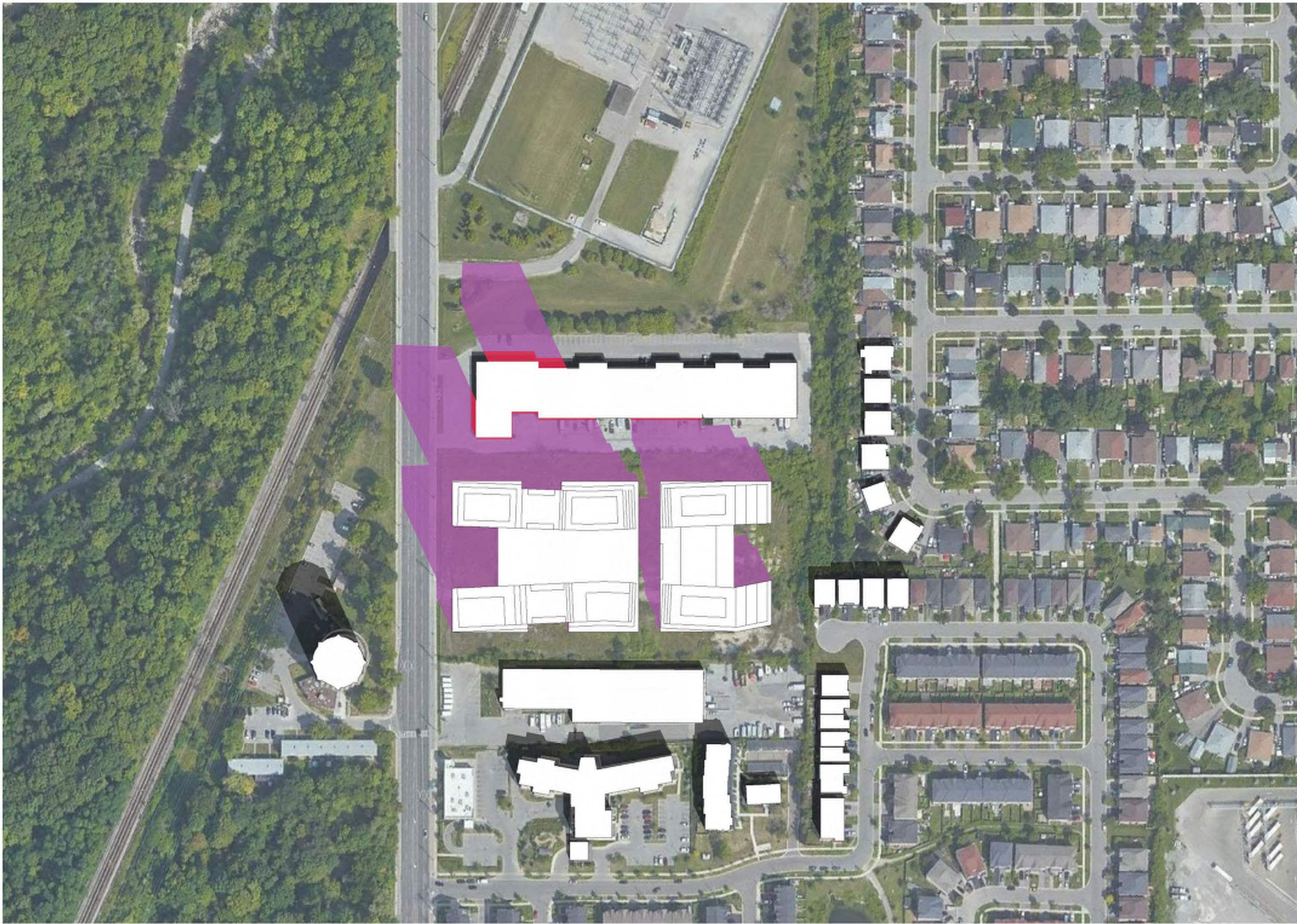
PROJECT NO.
06.077RZ
PROJECT DATE
2021-05-03
DRAWN BY
CCU / ALG
CHECKED BY
CCU / RMM
SCALE
1:350



DRAWING NO.
RZ403
REV.
1



MARCH 21 0918 AM



MARCH 21 1018 AM



MARCH 21 1118 AM



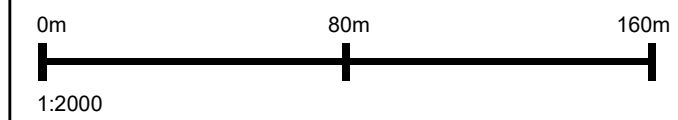
MARCH 21 1218 PM

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SHADOW STUDY LEGEND

PROPOSED BUILDING

SHADOW OVERLAP



1	2021-06-28	ISSUED FOR ZBA	CCU
#	DATE	DESCRIPTION	BY
PROJECT			
Proposed Mixed Use Development			
685 Warden Avenue, Toronto, ON			
DRAWINGS			
SHADOW STUDIES - MARCH			
PROJECT NO. 06.077RZ			
PROJECT DATE 2021-05-03			
DRAWN BY CCU / ALG			
CHECKED BY CUU / RMM			
SCALE As indicated			
	DRAWING NO. RZ701	REV. 1	



MARCH 21 1318 PM



MARCH 21 1418 PM



MARCH 21 1518 PM



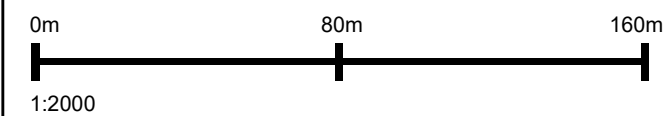
MARCH 21 1618 PM

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SHADOW STUDY LEGEND

PROPOSED BUILDING

SHADOW OVERLAP



#	DATE	DESCRIPTION	BY
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PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWINGS

SHADOW STUDIES - MARCH

PROJECT NO. 06.077RZ	
PROJECT DATE 2021-05-03	
DRAWN BY CCU / ALG	
CHECKED BY CUU / RMM	
SCALE As indicated	

	DRAWING NO. RZ702	REV.
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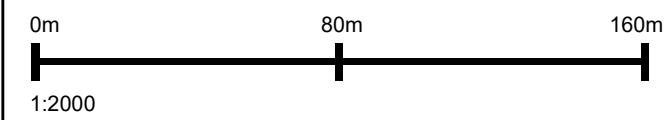
MARCH 21 1718 PM

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SHADOW STUDY LEGEND

PROPOSED BUILDING

SHADOW OVERLAP



1	2021-06-28	ISSUED FOR ZBA	CCU
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PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWINGS

SHADOW STUDIES - MARCH

PROJECT NO. 06.077RZ	
PROJECT DATE 2021-05-03	
DRAWN BY CCU / ALG	
CHECKED BY CUU / RMM	
SCALE As indicated	

	DRAWING NO. RZ703	REV. 1
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JUNE 21 0918 AM



JUNE 21 1018 AM



JUNE 21 1118 AM



JUNE 21 1218 PM

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FLEISCHER

Turner Fleischer Architects Inc.
67 Leslie Road
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T 416 425 2222
turnerfleischer.com

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SHADOW STUDY LEGEND

PROPOSED BUILDING

SHADOW OVERLAP

0m80m160m

1:2000

1	2021-06-28	ISSUED FOR ZBA	CCU
#	DATE	DESCRIPTION	BY
PROJECT			
Proposed Mixed Use Development			
685 Warden Avenue, Toronto, ON			
DRAWINGS			
SHADOW STUDIES - JUNE			
PROJECT NO. 06.077RZ			
PROJECT DATE 2021-05-03			
DRAWN BY CCU / ALG			
CHECKED BY CUU / RMM			
SCALE As indicated			
<div><div><div>N</div><div></div></div></div>			
DRAWING NO. RZ704		REV. 1	

2021-06-25 4:55:19 PM



JUNE 21 1318 PM



JUNE 21 1418 PM



JUNE 21 1518 PM



JUNE 21 1618 PM

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T 416 425 2222
turnerfleischer.com

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SHADOW STUDY LEGEND

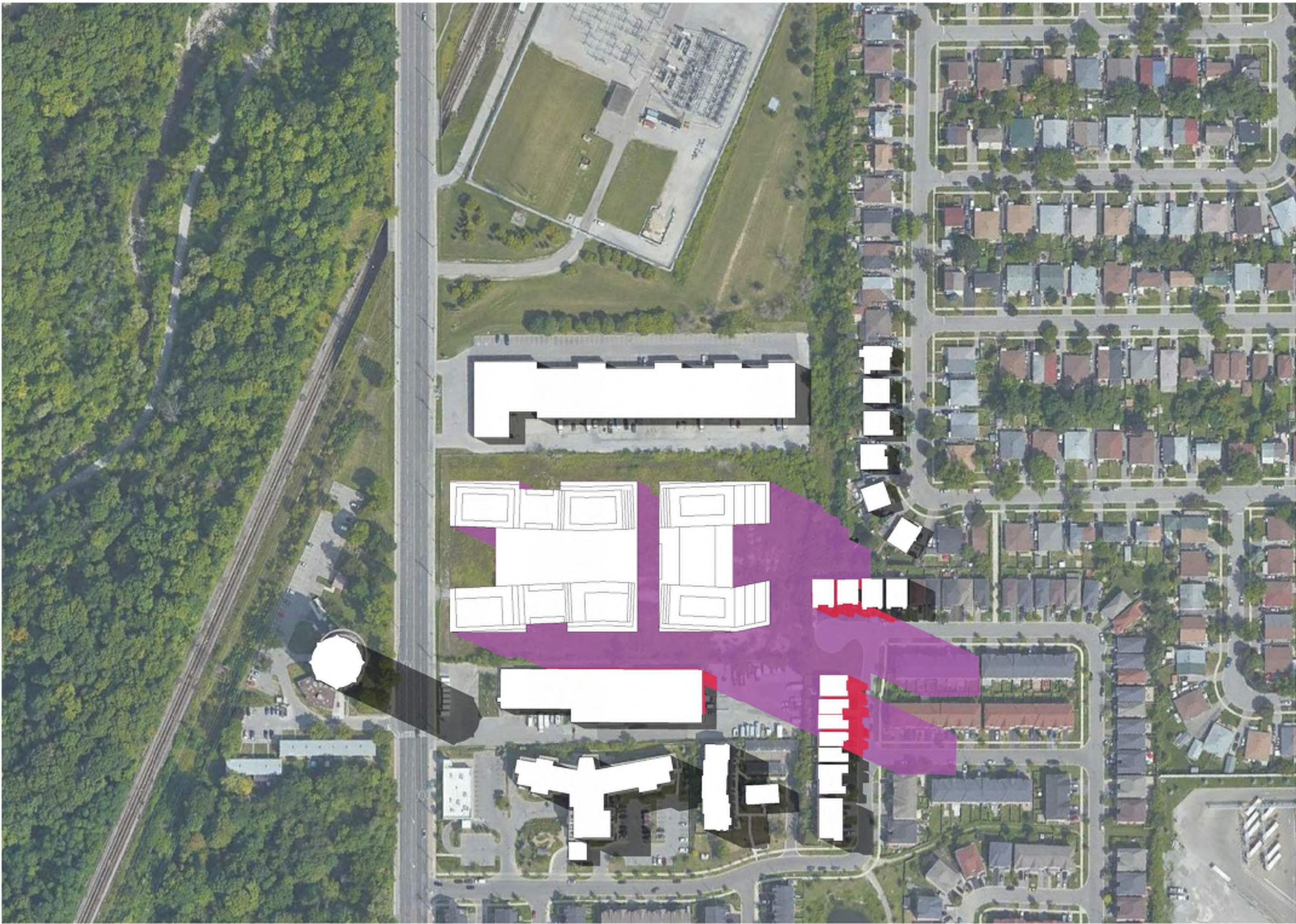
PROPOSED BUILDING

SHADOW OVERLAP

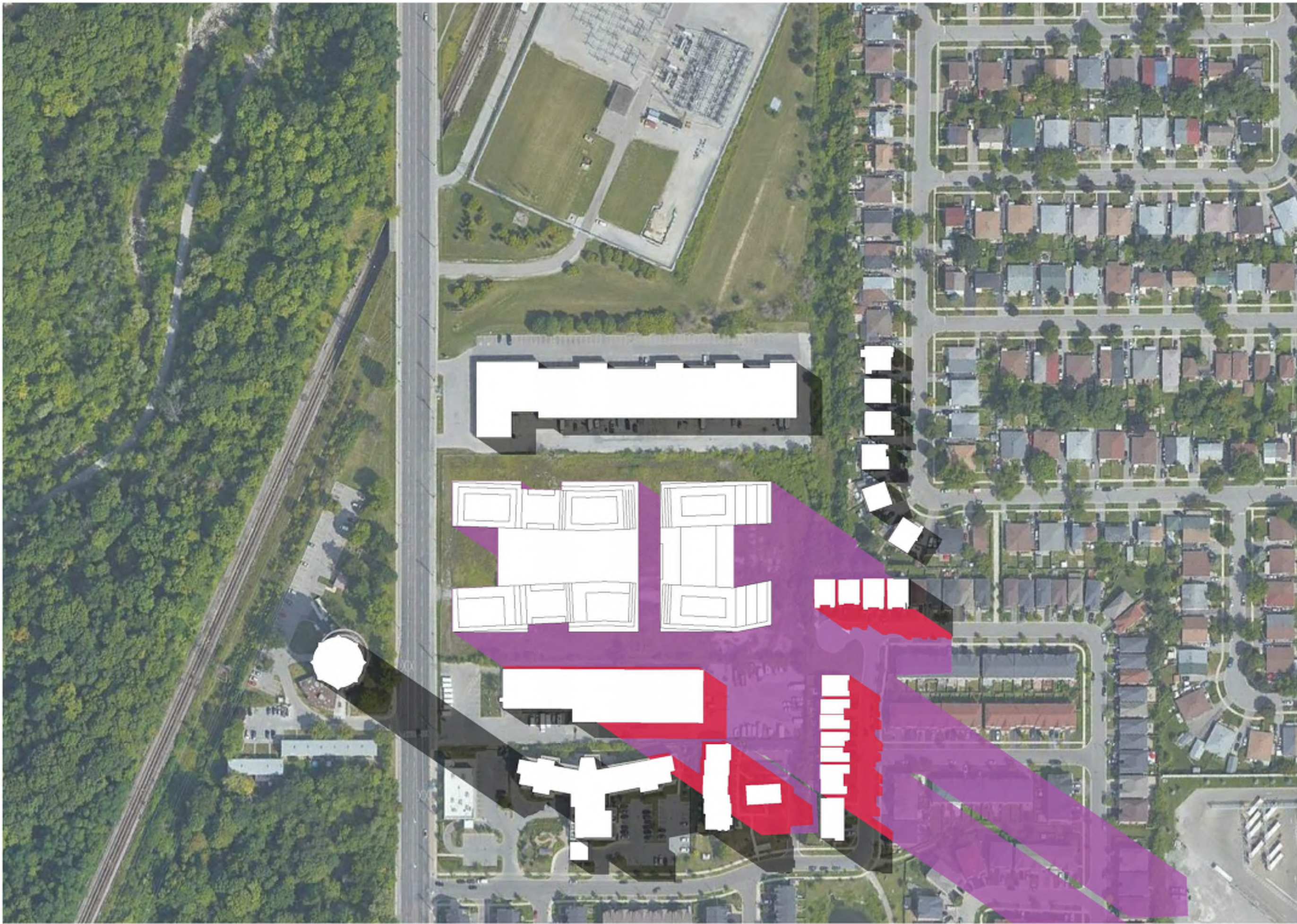
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1	2021-06-28	ISSUED FOR ZBA	CCU
#	DATE	DESCRIPTION	BY
PROJECT			
Proposed Mixed Use Development			
685 Warden Avenue, Toronto, ON			
DRAWINGS			
SHADOW STUDIES - JUNE			
PROJECT NO. 06.077RZ			
PROJECT DATE 2021-05-03			
DRAWN BY CCU / ALG			
CHECKED BY CUU / RMM			
SCALE As indicated			
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DRAWING NO. RZ705		REV. 1	



JUNE 21 1718 PM



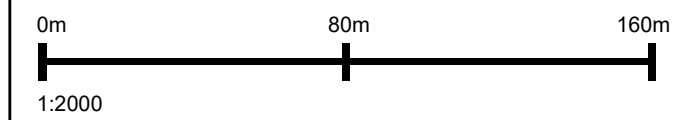
JUNE 21 1818 PM

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SHADOW STUDY LEGEND

PROPOSED BUILDING

SHADOW OVERLAP



1	2021-06-28	ISSUED FOR ZBA	CCU
#	DATE	DESCRIPTION	BY

PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWINGS

SHADOW STUDIES - JUNE

PROJECT NO. 06.077RZ	
PROJECT DATE 2021-05-03	
DRAWN BY CCU / ALG	
CHECKED BY CCU / RMM	
SCALE As indicated	

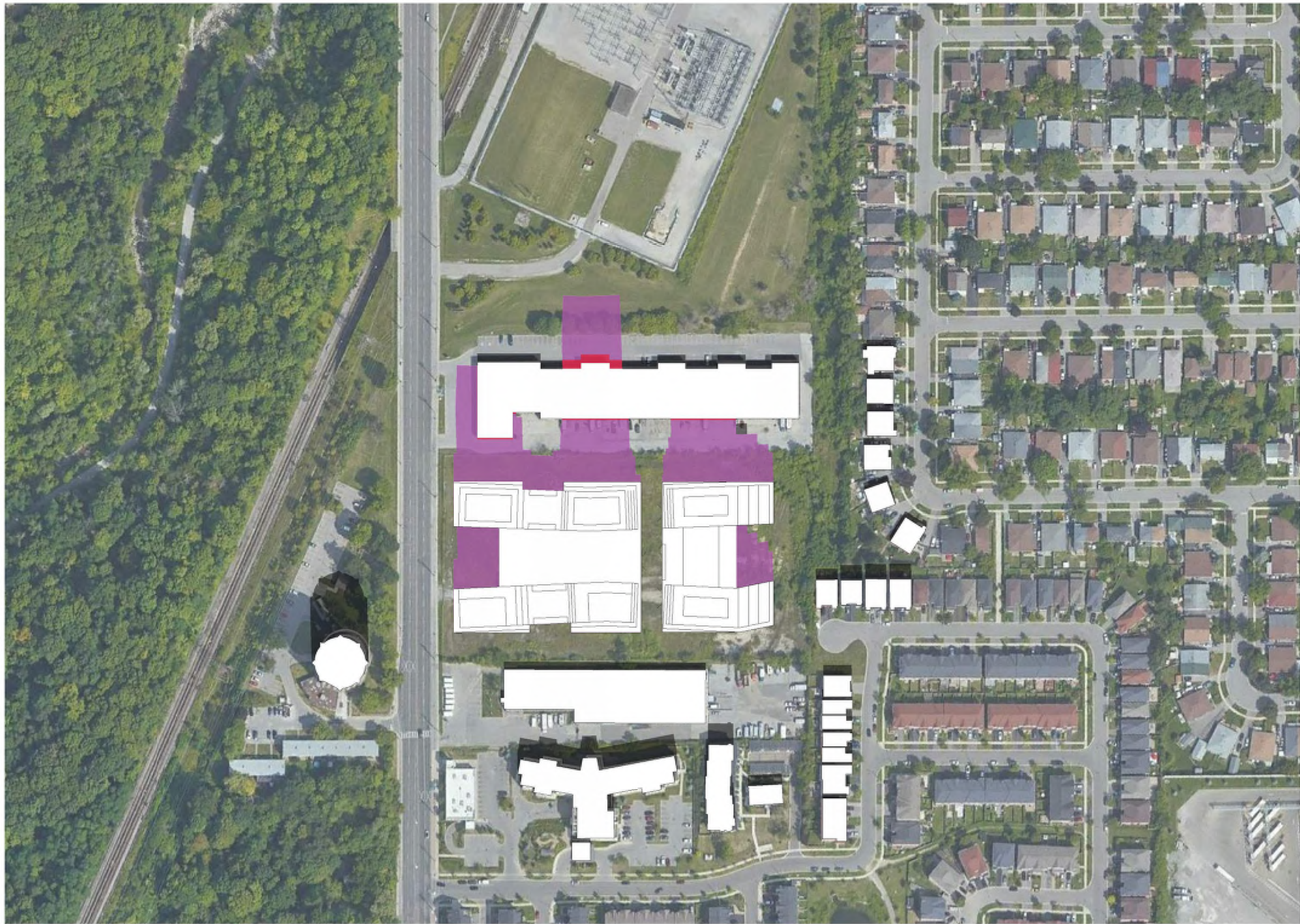
DRAWING NO. RZ706	REV. 1
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SEPTEMBER 21 0918 AM



SEPTEMBER 21 1018 AM



SEPTEMBER 21 1118 AM



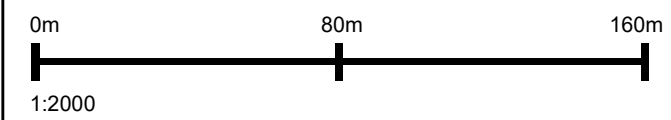
SEPTEMBER 21 1218 PM

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SHADOW STUDY LEGEND

PROPOSED BUILDING

SHADOW OVERLAP



1	2021-06-28	ISSUED FOR ZBA	CCU
#	DATE	DESCRIPTION	BY

PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWINGS

SHADOW STUDIES - SEPTEMBER

PROJECT NO. 06.077RZ	
PROJECT DATE 2021-05-03	
DRAWN BY CCU / ALG	
CHECKED BY CUU / RMM	
SCALE As indicated	

	DRAWING NO. RZ707	REV. 1
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SEPTEMBER 21 1318 PM



SEPTEMBER 21 1418 PM



SEPTEMBER 21 1518 PM



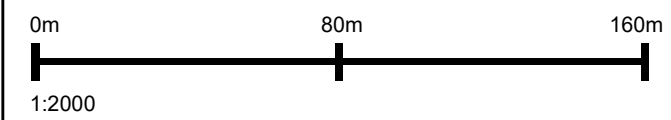
SEPTEMBER 21 1618 PM

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SHADOW STUDY LEGEND

PROPOSED BUILDING

SHADOW OVERLAP



1	2021-06-28	ISSUED FOR ZBA	CCU
#	DATE	DESCRIPTION	BY

PROJECT
Proposed Mixed Use Development
685 Warden Avenue, Toronto, ON

DRAWINGS
SHADOW STUDIES - SEPTEMBER

PROJECT NO. 06.077RZ	
PROJECT DATE 2021-05-03	
DRAWN BY CCU / ALG	
CHECKED BY CUU / RMM	
SCALE As indicated	

DRAWING NO. RZ708	REV. 1
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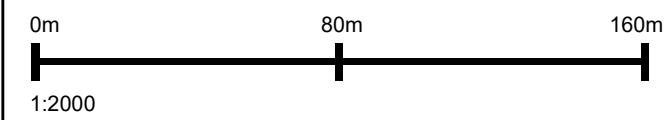
SEPTEMBER 21 1718 PM

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SHADOW STUDY LEGEND

PROPOSED BUILDING

SHADOW OVERLAP



1	2021-06-28	ISSUED FOR ZBA	CCU
#	DATE	DESCRIPTION	BY

PROJECT
Proposed Mixed Use Development

685 Warden Avenue,Toronto, ON

DRAWINGS

SHADOW STUDIES - SEPTEMBER

PROJECT NO. 06.077RZ	
PROJECT DATE 2021-05-03	
DRAWN BY CCU / ALG	
CHECKED BY CUU / RMM	
SCALE As indicated	

	DRAWING NO. RZ709	REV. 1
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DECEMBER 21 0918 AM



DECEMBER 21 1018 AM



DECEMBER 21 1118 AM



DECEMBER 21 1218 PM

TURNER FLEISCHER

Turner Fleischer Architects Inc.
67 Leslie Road
Toronto, ON, M5B 2T8
T 416 425 2222
turnerfleischer.com

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SHADOW STUDY LEGEND

PROPOSED BUILDING

SHADOW OVERLAP

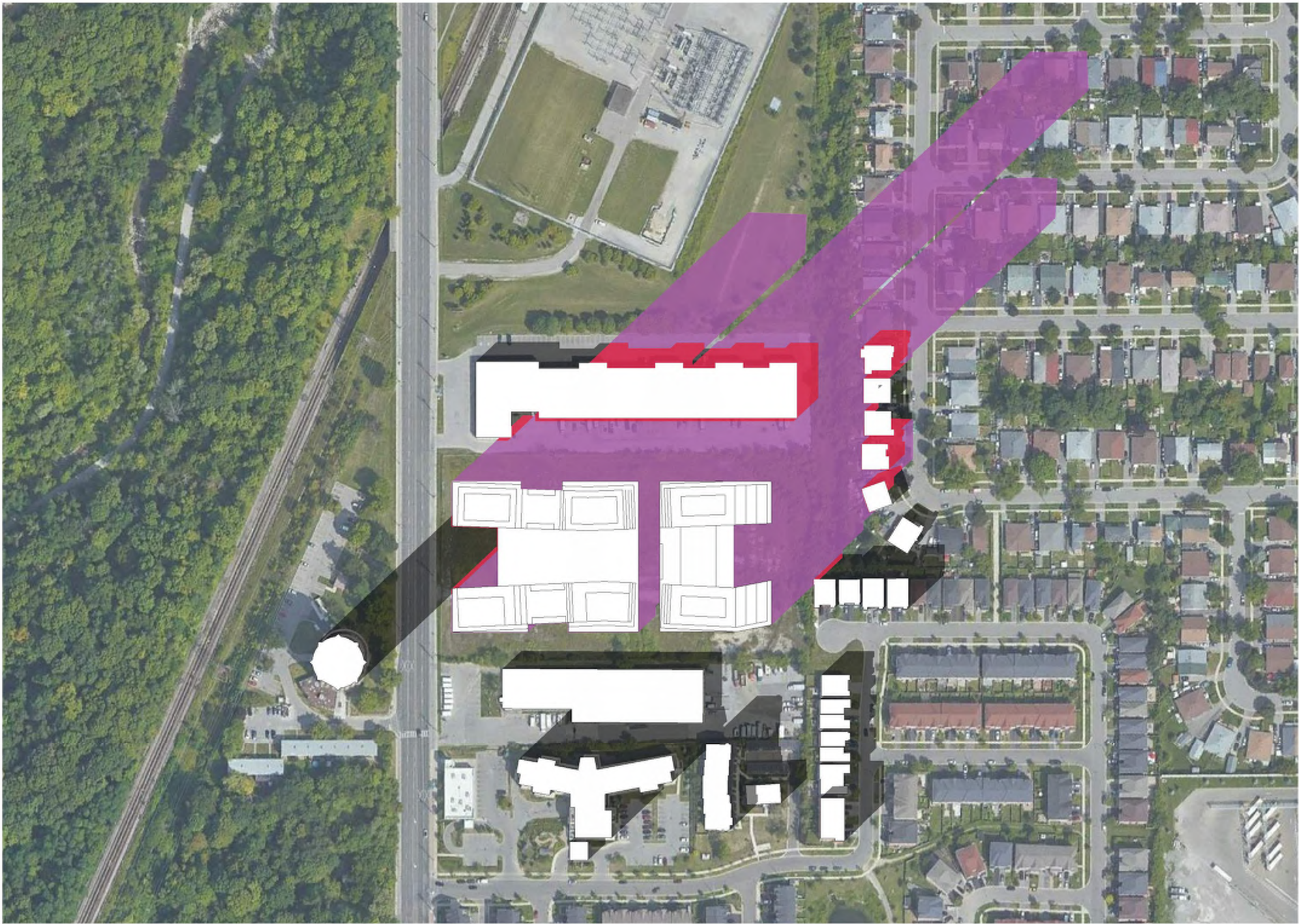
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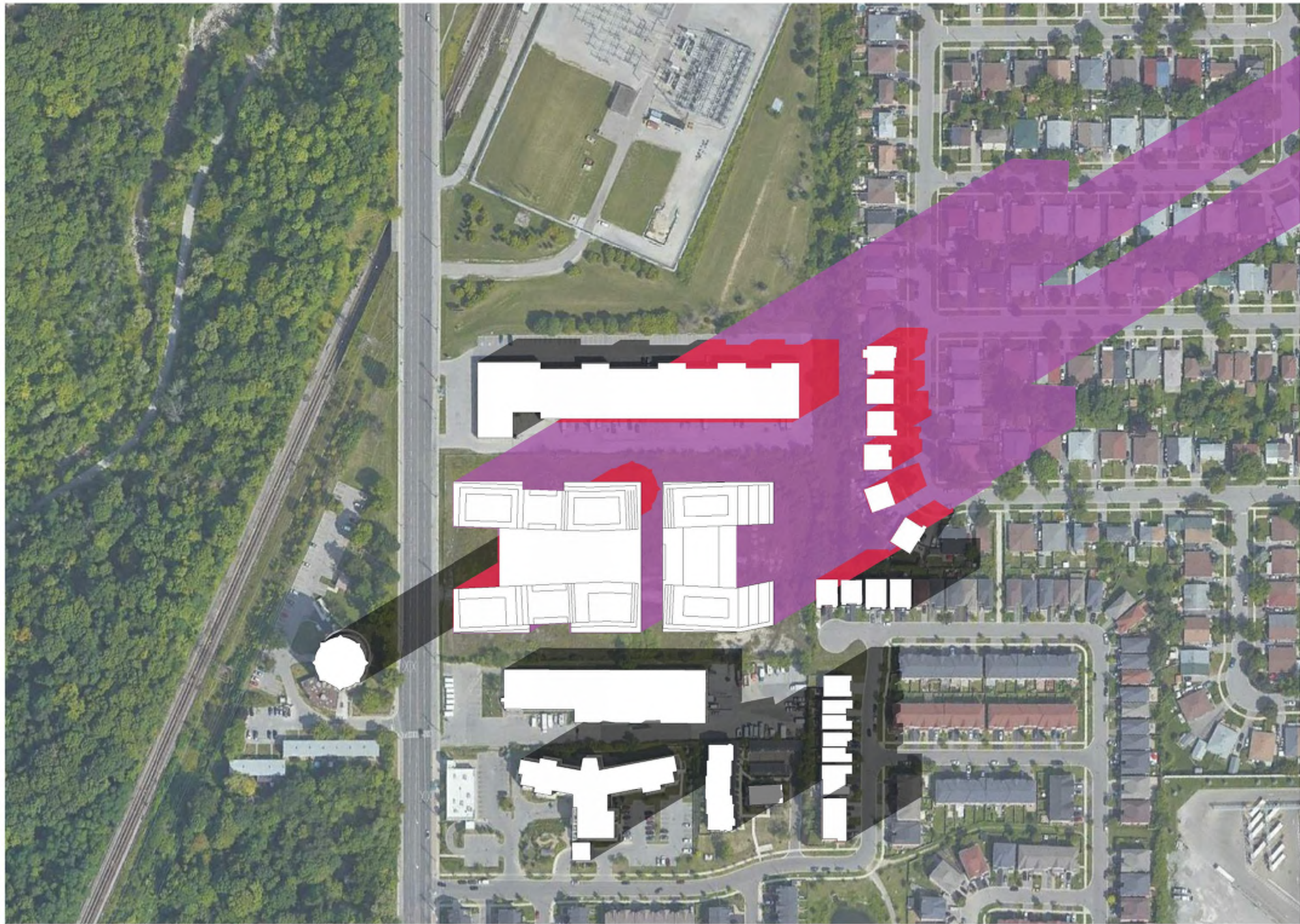
1	2021-06-28	ISSUED FOR ZBA	CCU
#	DATE	DESCRIPTION	BY
PROJECT			
Proposed Mixed Use Development			
685 Warden Avenue, Toronto, ON			
DRAWINGS			
SHADOW STUDIES - DECEMBER			
PROJECT NO. 06.077RZ			
PROJECT DATE 2021-05-03			
DRAWN BY CCU / ALG			
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SCALE As indicated			
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DRAWING NO. RZ710		REV. 1	



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DECEMBER 21 1418 PM



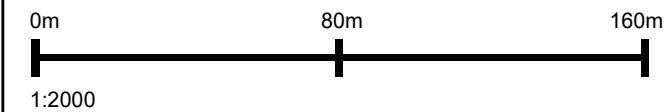
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SHADOW STUDY LEGEND

PROPOSED BUILDING

SHADOW OVERLAP



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PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWINGS

SHADOW STUDIES - DECEMBER

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PROJECT DATE 2021-05-03	
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SCALE As indicated	

DRAWING NO. RZ711	REV. 1
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2021-06-25 4:55:45 PM



STREET VIEW LOOKING EAST



MID-AERIAL LOOKING NORTH

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1	2021-06-28	ISSUED FOR ZBA	CCU
#	DATE	DESCRIPTION	BY

PROJECT
Proposed Mixed Use Development

685 Warden Avenue, Toronto, ON

DRAWING

3D PERSPECTIVES

PROJECT NO. 06.077RZ	<div>ONTARIO ASSOCIATION OF ARCHITECTS </div>	DRAWING NO.	REV.
PROJECT DATE 2021-05-03		RZ801	1
DRAWN BY CCU / ALG			
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SCALE			

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STREET VIEW LOOKING EAST



STREET VIEW LOOKING WEST FROM PARK

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PROJECT			
Proposed Mixed Use Development			
685 Warden Avenue, Toronto, ON			
DRAWING			
3D PERSPECTIVES			
PROJECT NO. 06.077RZ			
PROJECT DATE 2021-05-03			
DRAWN BY CCU / ALG			
CHECKED BY CCU / RMM			
SCALE			
DRAWING NO.		REV.	